



CITY OF RICHMOND

PLANNING COMMISSION

Monday, February 3, 2014
5th Floor Conference Room
City Hall
1:30 P.M.

AGENDA

CITY OF RICHMOND PLANNING COMMISSION

Call to Order

Roll Call

Chair's Comments

Approval of Minutes

- Regular Meeting of January 21, 2014

Director's Report

- Election of Officers
- Council Action Update

Consideration of Continuances and Deletions from Agenda

CONSENT AGENDA:

1. **Ord. No. 2013-247:** To amend Ord. No. 2011-19-43, adopted Mar. 14, 2011, which authorized the special use of the property known as 1 North Boulevard for two tourist home lodging units within an owner occupied single-family dwelling, for the purpose of permitting two additional lodging units, upon certain terms and conditions. *Council District 2*
2. **Ord. No. 2014-7:** To authorize the special use of the property known as 1001 North Lombardy Street for the purpose of permitting a restaurant and an outdoor dining area, upon certain terms and conditions. *Council District 2*
3. **Ord. No. 2014-8:** To authorize the special use of the property known as 1900 Avondale Avenue for the purpose of permitting no more than three (3) dwelling units, upon certain terms and conditions. *Council District 3*

The CONSENT AGENDA consists of items that appear relatively non-controversial in nature and for which there was no known opposition at the time this agenda was set. The Consent Agenda items will be considered by the Commission as a group, and there will be a single combined staff presentation and a single combined public hearing held for all items listed on the Consent Agenda.

REGULAR AGENDA:

4. **Ord. No. 2013-245:** To authorize the special use of a portion of the property known as 3805 Cutshaw Avenue for the purpose of authorizing a multifamily dwelling with a total of up to sixty-six (66) dwelling units, upon certain terms and conditions. *Council District 1*

UPCOMING ITEMS:

- **Special use permit amendment for additional commercial uses at 708 North Meadow Street** (*February 18, 2014 meeting date*)
- **Rezoning of 305 East Jackson Street from RO-3 (Residential Office) to RP (Research Park)** (*February 18, 2014 meeting date*)

Adjournment

All persons attending the meeting are requested to register on the attendance sheets that have been placed on the chairs and are also available at the table by the conference room entrance. Once you have completed an attendance sheet, it should be provided to the Commission staff.



City of Richmond, Virginia
Department of Planning and Development Review
City Hall, Richmond, Virginia 23219
804.646.6304 (f) 804.646.5789 www.richmondgov.com

To: Planning Commission
From: Land Use Administration
Date: February 3, 2014
RE: **Agenda Item #1, Ord. No. 2013-247:** To amend ordinance 2011-19-43, which authorized the special use of the property known as 1 North Boulevard for the purpose of authorizing two tourist home lodging units within an owner occupied single-family dwelling, to authorize two additional lodging units, upon certain terms and conditions. *Council District 2*

Summary dates:

Council paper introduction:	December 9, 2013
Planning Commission public hearing:	February 3, 2014
City Council public hearing:	February 10, 2014

Summary facts:

I. PETITIONER

Sean and Polly Brooks
The One Bed and Breakfast LLC
1 N. Boulevard
Richmond, VA 23220

II. LOCATION

1 N. Boulevard

III. PURPOSE

To amend ordinance 2011-19-43, which authorized the special use of the property known as 1 North Boulevard for the purpose of authorizing two tourist home lodging units within an owner occupied single-family dwelling, to authorize two additional lodging units, upon certain terms and conditions.

IV. SUMMARY & RECOMMENDATION

The subject property is located at the northeast corner of the intersection of N. Boulevard and W. Main Street. The property contains approximately 0.103 acres of land area and is improved with a two-story brick dwelling constructed in 1914. The building contains 4,272 square feet of area in the two above-ground stories, with additional space in the basement. The property has been operating since 2011 as a tourist home with two lodging units (a bed & breakfast with two guest rooms).

The applicant is proposing to add two additional tourist home lodging units to the existing operation. One of the units would be located on the second floor adjacent to the two existing units and the other unit would be located in the existing basement space.

The Zoning Ordinance does not recognize bed & breakfast establishments, and defines these uses as Tourist Homes. The Zoning Ordinance defines Tourist Homes as "a building containing not more than ten guestrooms, with or without kitchens and with or without

board, intended to be rented for compensation for occupancy by the traveling public and similar transient guests on a daily basis and in which access to individual guestrooms is provided exclusively from within the building, as distinguished from a hotel, motel, lodginghouse, group home, shelter or similar form of housing: Tourist Homes are a permitted use in higher density multi-family residential districts and lower intensity commercial districts, subject to being located on a Federal Highway. Tourist Homes are permitted by right without restriction in higher intensity commercial districts.

The applicant proposes to continue occupying the home as a single-family dwelling and offer four suites, or tourist home lodging units, to guests. No major interior or exterior renovation would be necessary to accommodate the use. The building's main entrance is on the Boulevard, with a side entrance located on Main Street. Guests will have private access to the tourist home from the Main Street entrance. The ground floor spaces devoted to the tourist home use include a small porch over the entrance, which leads to a guest foyer. Three guest units would be located on the second floor. They will each have access to a sun porch located to the rear of the building. The parlor area, where breakfast will be served, is located adjacent to the three guest units. The fourth unit would be located in the basement and would include a bathroom and kitchenette.

The Ordinance limits the number of guests per suite to two, plus children less than twelve years of age. Breakfast would be the only meal served. Meetings, receptions, and other functions would not be permitted as part of the use. The maximum stay for any guest would be limited to fourteen consecutive nights, as a way to ensure that the tourist home did not become a lodginghouse available for long term rental. Five parking spaces would be provided on site at the rear of the subject property and accessed from the public alley. One sign not exceeding one square foot in area attached flat against the building would be permitted.

The surrounding properties on Boulevard are also located in the R-48 Multi-Family Residential zoning district and contain a mix of single, two, and multi-family dwellings. Two blocks to the north of the subject property is the Virginia Museum of Fine Arts, and beyond that the Virginia Historical Society. Byrd Park is located several blocks south of the subject property. To the east of the subject property on Main Street is a large section of R-7 Single and Two-Family Urban Residential zoned properties. Main Street to the east also features numerous restaurants and small shops.

The subject property is located in the Near West Planning District as defined by the Master Plan, which recommends Multi-family (Medium Density) uses for the property. The Master Plan defines the primary use for this land use category as "multi-family dwellings at densities up to 20 units per acre" (page 133). There is no language in the Master Plan specific to this property. The plan does recognize that "the Fan and West of the Boulevard neighborhoods have experienced considerable restoration, and the presence of retail opportunities within the fabric of the neighborhood, as well as major institutions, such as the Virginia Museum of Fine Arts, make these neighborhoods popular places to live and visit" (page 225).

The continued single-family use of the property by the owner and operator is consistent with the Master Plan recommendation of Multi-family. It is the staff's finding that the proposed addition of two lodging units at this location would not change the character of the small scale operation. The existing business provides a benefit to the City by providing visitors a place to stay in one of the City's most unique and historic neighborhoods. Staff

also finds that with changes to the building not being necessary, the proposed use will not have a negative impact on the adjacent properties.

Staff finds that the proposal meets the City Charter criteria for the granting of special use permits. Specifically, the proposal would not be detrimental to the safety, health, morals and general welfare of the community established by the City's Master Plan and the underlying commercial zoning district. Therefore, staff recommends approval of the special use permit request.

Staff Contact: Willy Thompson, Senior Planner, 804-646-5734

V. FINDINGS OF FACT

a. Proposed Use of the Property

The applicant is proposing to add two additional tourist home lodging units to the existing operation. One of the units would be located on the second floor adjacent to the two existing units and the other unit would be located in the existing basement space.

b. Site Description

The Subject property is located at the northeast corner of the intersection of N. Boulevard and W. Main Street. The property contains approximately 0.103 acres of land area and is improved with a two-story brick dwelling constructed in 1914. The building contains 4,272 square feet of area in the two above-ground stories, with additional space in the basement. The property has been operating since 2011 as a tourist home with two lodging units.

c. Master Plan

The subject property is located in the Near West Planning District as defined by the Master Plan, which recommends Multi-family (Medium Density) uses for the property. The Master Plan defines the primary use for this land use category as "multi-family dwellings at densities up to 20 units per acre" (page 133). There is no language in the Master Plan specific to this property. The plan does recognize that "the Fan and West of the Boulevard neighborhoods have experienced considerable restoration, and the presence of retail opportunities within the fabric of the neighborhood, as well as major institutions, such as the Virginia Museum of Fine Arts, make these neighborhoods popular places to live and visit" (page 225).

d. Zoning and Ordinance Conditions

The Ordinance limits the number of guests per suite to two, plus children less than twelve years of age. Breakfast would be the only meal served. Meetings, receptions, and other functions would not be permitted as part of the use. The maximum stay for any guest would be limited to fourteen consecutive nights, as a way to ensure that the tourist home did not become a lodginghouse available for long term rental. Five parking spaces would be provided on site at the rear of the subject property and accessed from the public alley. One sign not exceeding one square foot in area attached flat against the building would be permitted.

e. Surrounding Area

The surrounding properties on Boulevard are also located in the R-48 Multi-Family Residential zoning district and contain a mix of single, two, and multi-family dwellings. Two blocks to the north of the subject property is the Virginia Museum of

Fine Arts, and beyond that the Virginia Historical Society. Byrd Park is located several blocks south of the subject property. To the east of the subject property on Main Street is a large section of R-7 Single and Two-Family Urban Residential zoned properties. Main Street to the east also features numerous restaurants and small shops.

f. Neighborhood Participation

Staff has contacted 2nd District Councilperson, Chris Samuels, as well as the Fan District Association, Boulevard Association, and Museum District Association. Staff received letters of support from the Fan District Association, Boulevard Association, and Museum District Association.

VI. ATTACHMENTS

- a. Vicinity Map**
- b. Draft Ordinance**
- c. Application Form**
- d. Applicant's Report**
- e. Letters of Support**



**City of Richmond
Department of Planning
& Development Review**

Special Use Permit

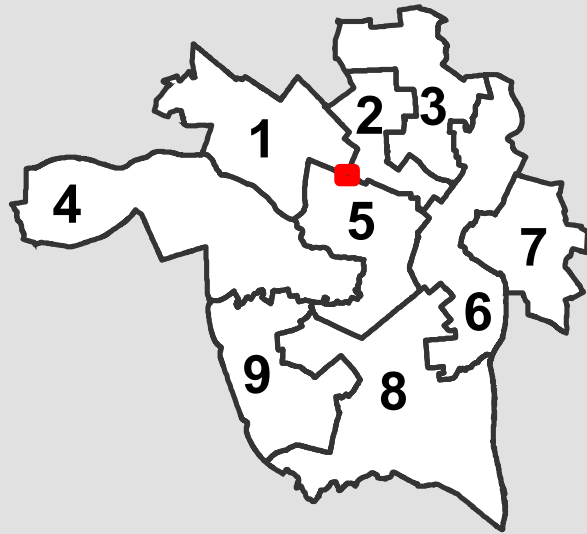
LOCATION: 1 North Boulevard

COUNCIL DISTRICT: 2

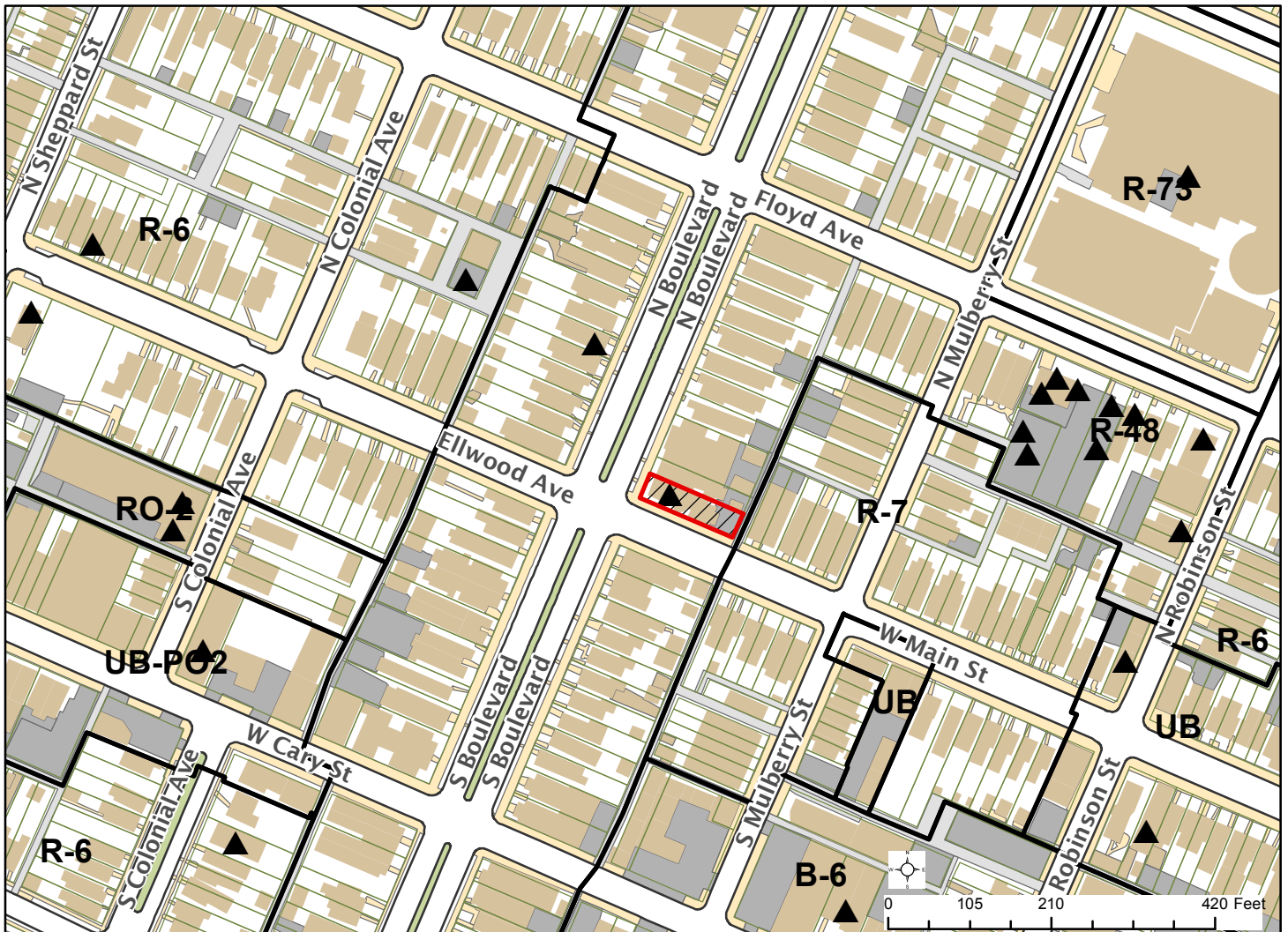
APPLICANT: Sean and Polly Brooks,
One Bed and Breakfast

EXISTING USE: Single-Family Dwelling

PROPOSED USE: To amend Ord. No. 2011-19-43, adopted Mar. 14, 2011, which authorized the special use of the property known as 1 North Boulevard for two tourist home lodging units within an owner occupied single-family dwelling, for the purpose of permitting two additional lodging units, upon certain terms and conditions.



For questions, please contact Lory Markham at 646-6309 or Lory.Markham@richmondgov.com



INTRODUCED: December 9, 2013

AN ORDINANCE No. 2013-247

As Amended

To amend Ord. No. 2011-19-43, adopted Mar. 14, 2011, which authorized the special use of the property known as 1 North Boulevard for two tourist home lodging units within an owner occupied single-family dwelling, for the purpose of permitting two additional lodging units, upon certain terms and conditions.

Patron – Mayor Jones (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: JAN 13 2014 AT 6 P.M.

THE CITY OF RICHMOND HEREBY ORDAINS:

I. That Ordinance No. 2011-119-43, adopted March 14, 2011, be and is hereby amended and reordained as follows:

§ 1. That the property known as 1 North Boulevard and identified as Tax Parcel No. W000-1202/019 in the [~~2011~~] 2013 records of the City Assessor, being more particularly shown on a plat entitled “Plat Showing Improvements on No. 1 N. Boulevard, in the City of Richmond, VA,” prepared by McKnight and Associates, P.C., and dated December 8, 1998, on [~~sheet 9~~] page 17 of the plans entitled “The One Bed and Breakfast [~~On the Boulevard Business~~] Expansion Plan,”

AYES: _____ NOES: _____ ABSTAIN: _____

ADOPTED: _____ REJECTED: _____ STRICKEN: _____

prepared by Sean and Polly Brooks, and dated [~~December 20, 2010~~] [~~October, 2013~~] January 7, 2014, a copy of which is attached to and made a part of this amendatory ordinance, is hereby permitted to be used for the purpose of an owner-occupied single-family dwelling with [~~two~~] four tourist home lodging units, substantially as shown on sheets 1 through [~~13~~] 17 of the plans entitled “The One Bed and Breakfast [~~On the Boulevard Business~~] Expansion Plan,” prepared by Sean and Polly Brooks and dated [~~December 20, 2010~~] [~~October, 2013~~] January 7, 2014, copies of which are attached to and made a part this ordinance.

§ 2. That the adoption of this ordinance shall constitute the granting of a special use permit for the property, which shall be transferable from the owner of the property to the successor or successors in fee simple title of the owner, whether acquired by operation of law, deed or otherwise, and which shall run with the land.

§ 3. That the [~~Commissioner of Buildings~~] Zoning Administrator is hereby authorized to issue to the owner of the property a [~~building permit~~] certificate of zoning compliance substantially in accordance with the plans referred to above for the aforementioned purpose, subject to the following terms and conditions:

(a) The owner of the property shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the property, except as otherwise provided in this ordinance.

(b) Application for a [~~building permit~~] certificate of zoning compliance shall be made within [~~twenty four (24)~~] twelve (12) months from the effective date of this ordinance. [~~The building permit shall expire and shall become null and void if any necessary construction has not commenced within one hundred eighty (180) days from the date of the building permit or if construction is suspended or abandoned for a period of one hundred eighty (180) days at any time~~]

~~after such construction has commenced, as provided in any applicable provisions of the Virginia Uniform Statewide Building Code.] Should application for the [building permit] certificate of zoning compliance not be made within [twenty-four (24)] twelve (12) months after the effective date of this ordinance [or should the building permit expire and become null and void after the expiration of the twenty four (24) month time period for making application for the building permit], the privileges granted by this ordinance shall terminate and the special use permit shall become null and void.~~

(c) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the subject property have been paid.

(d) The use of the building shall be as an owner-occupied single-family dwelling, with ~~[two (2)]~~ four (4) tourist home lodging units, substantially as shown on the attached plans. No more than two guests shall be permitted per tourist home lodging unit, except that any child under the age of twelve (12) shall not be counted as a guest. No meals other than breakfast may be served to guests, except for snacks or beverages, which may be served upon request.

(e) No other commercial enterprise, including, but not limited to, catering services, a restaurant, meetings, weddings, receptions and similar functions operated on a for-profit basis, shall be permitted on the premises.

(f) The maximum consecutive stay for any guest of the tourist home lodging units shall be fourteen (14) nights.

(g) ~~[Three (3)]~~ Five (5) parking spaces shall be provided on site, substantially as shown on the attached plans.

(h) Identification of the premises shall be limited to a nameplate not to exceed one (1) square foot in area, which shall be attached flat against a vertical surface of the dwelling and numerals indicating the property's street address.

(i) Storm or surface water shall not be allowed to accumulate on the land. The owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the property so as not to adversely affect or damage adjacent property or public streets and the use thereof.

(j) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(k) In all other respects, the use of the property shall be in accordance with the applicable underlying zoning regulations.

§ 4. That the privileges granted by this ordinance may under certain circumstances be revoked. Upon noting that a condition of a special use permit has been violated, the Zoning Administrator shall issue a written notice of violation to the property owner. The notice shall inform the property owner (i) which condition or conditions have been violated, (ii) the nature of the violation, and (iii) that the City Planning Commission shall hold a public hearing at which it shall review the violation and the special use permit pursuant to the provisions of sections 114-1050.7 through 114-1050.11 of the Code of the City of Richmond (2004), as amended, if (a) the property owner does not abate the violation within thirty (30) days of the issuance of the notice or (b) three (3) notices of violation are issued to the property owner within any twelve (12) month period. No action taken pursuant to the provisions of this section shall in any way limit the City's right to pursue any other remedy at law or in equity against the property owner. Failure to comply with

the terms and conditions of this ordinance shall constitute a violation of section 114-1080 of the Code of the City of Richmond (2004), as amended, or any other applicable laws or regulations.

§ 5. That when the privileges granted by this ordinance terminate and the special use permit becomes null and void or when use of the tourist home use is abandoned for a period of twenty-four (24) consecutive months, use of the property shall be governed thereafter by the zoning regulations prescribed for the district in which the property is then situated.

§ 6. This ordinance shall be in force and effect upon adoption.

II. That this amendatory ordinance shall be in force and effect upon adoption.



Application for SPECIAL USE PERMIT

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment

Project Name/Location

Project Name: THE ONE Bed & Breakfast Date: 8-16-13

Property Address: 1 N Boulevard Tax Map #: W0001202019

Fee: 1200 Total area of affected site in acres: _____

(See page 3 for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: R-48 Res; Multi

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Existing Use: 365-R Bed and Breakfast

Is this property subject to any previous land use cases?

Yes No

If Yes, please list the Ordinance Number:

2011-19-43

Expansion of Bed and Breakfast to include two rooms

Applicant/Contact Person: Sean R Brooks

Company: _____

Mailing Address: 1 N Boulevard

City: Richmond State: VA Zip Code: 23220

Telephone: (804) 359-1211 Fax: (804) 359-0069

Email: innkeepers@theonebandb.com

Property Owner: Sean R Brooks

If Business Entity, name and title of authorized signee: _____

Mailing Address: 1 N Boulevard

City: Richmond State: VA Zip Code: 23220

Telephone: (804) 359-1211 Fax: (804) 359-0069

Email: innkeepers@theonebandb.com

Property Owner Signature: [Signature]

(The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.)

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

The One Bed and Breakfast Expansion Plan

Prepared by:
Sean and Polly Brooks
January 7, 2014



Statement of Purpose 3
Summary 3
Description of Special Use Permit Plan Amendment 4
Addition of Serenity Suite 4
Layout of the Second Floor Guest Quarters with Proposed Serenity Suite Location 4
The Serenity Suite Photos 5
Addition of The Cellar at The One Bed and Breakfast 7
The Cellar Floor Plan 7
The Cellar Photos 8
Personnel 10
Renovation and Expansion Plans 10
Off Street Parking Accommodations 10
Neighborhood Support 12
Neighborhood Association / City Councilman Support 14
Copy of 1 N. Boulevard Site Survey 17

Statement of Purpose

The purpose of this plan is to summarize the intended expansion plans for The One Bed and Breakfast, LLC, established April 2011.

Summary

In April of 2011, The One Bed and Breakfast officially opened for business. Over the past two years we have had the privilege to host literally thousands of guests visiting Richmond from as close as Midlothian and as far away as Australia...and many points in between. The One Bed and Breakfast has established repeat relationships with over 30 guests and have welcomed visitors to fellow Richmond businesses such as the VMFA, Carytown Veterinary Clinic, VCU and The Virginia Historic Society, to name just a few. Our guests rave about the luxury of parking their car and walking to a wide variety of entertainment, shopping and dining choices, all while enjoying the cozy and quaint feel of our fabulous neighborhood.

Not a week goes by that we don't have to turn people away because we simply don't have enough space to accommodate all of our guest inquiries. Because there is such a high demand we are requesting an amendment to our existing SUP (Ordinance 2011-19-43) to add two additional suites to our existing guest space. The additional space would consist of an upstairs guest room located near the existing bed and breakfast guest quarters and the finished area of our cellar.

The One has become a popular destination for visitors from all over the world and has received amazing reviews on TripAdvisor, Bed and Breakfast.com, Google and Yelp. Our guests have been a welcomed addition to the community and our business has benefited our neighborhood and the restaurants and businesses that thrive within it. As our guest reviews indicate, our business has been successful and our guests love our neighborhood just as much as we do. The One has become a favorite location for guests visiting Richmond to explore our wonderful museums, Carytown, Monument Avenue, Byrd park, The Fan and of course all of the beauty we have come to love of life on the Boulevard.

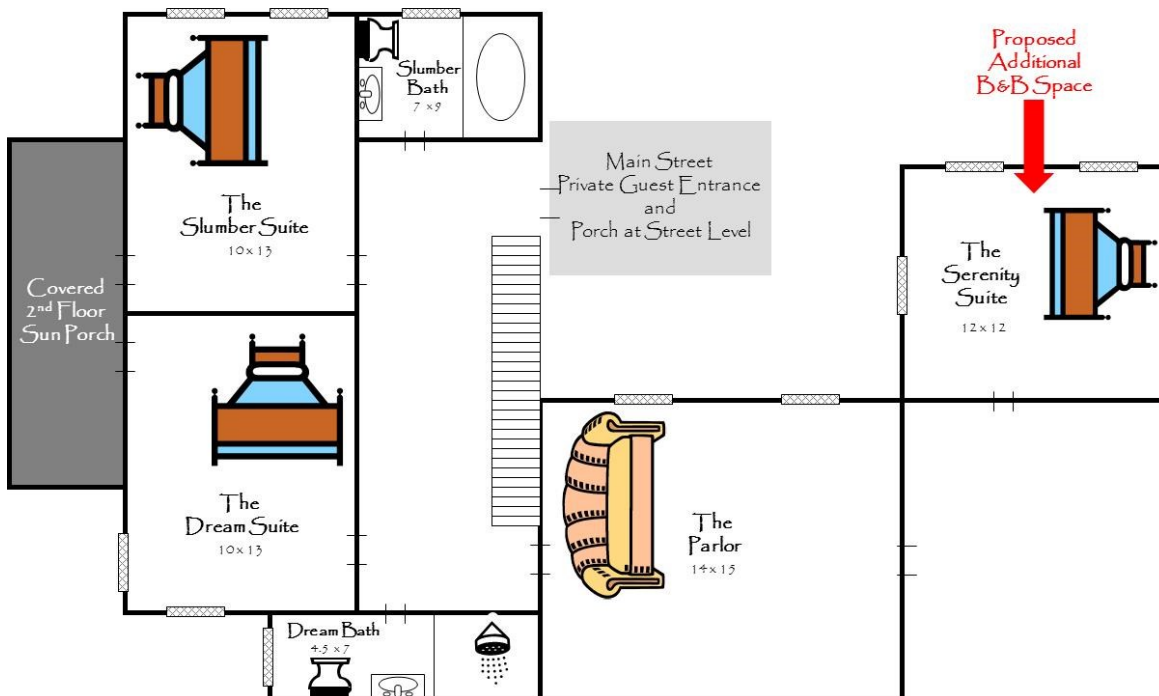
Description of Special Use Permit Plan Amendment

Addition of Serenity Suite

The proposed Serenity Suite is a guest bedroom located adjacent to the existing bed and breakfast space. We have frequent requests for lodging from couples traveling with children, young adult students/children, parents. This additional space will be available for families or groups traveling together who are willing to share one of the full bathrooms in our existing B&B guest quarters.

Guests can access the Serenity Suite through the existing bed and breakfast private entrance on the Main Street side of the home. There is a guest porch on the Main Street entrance, as well as a guest foyer. The Serenity Suite offers a queen sized bed, flat screen television, iPod player/alarm clock, luxurious sheets and towels and plush spa robes. The floor plan with location of the Serenity Suite and photos of the space are included for review.

Layout of the Second Floor Guest Quarters with Proposed Serenity Suite Location



The Serenity Suite Photos



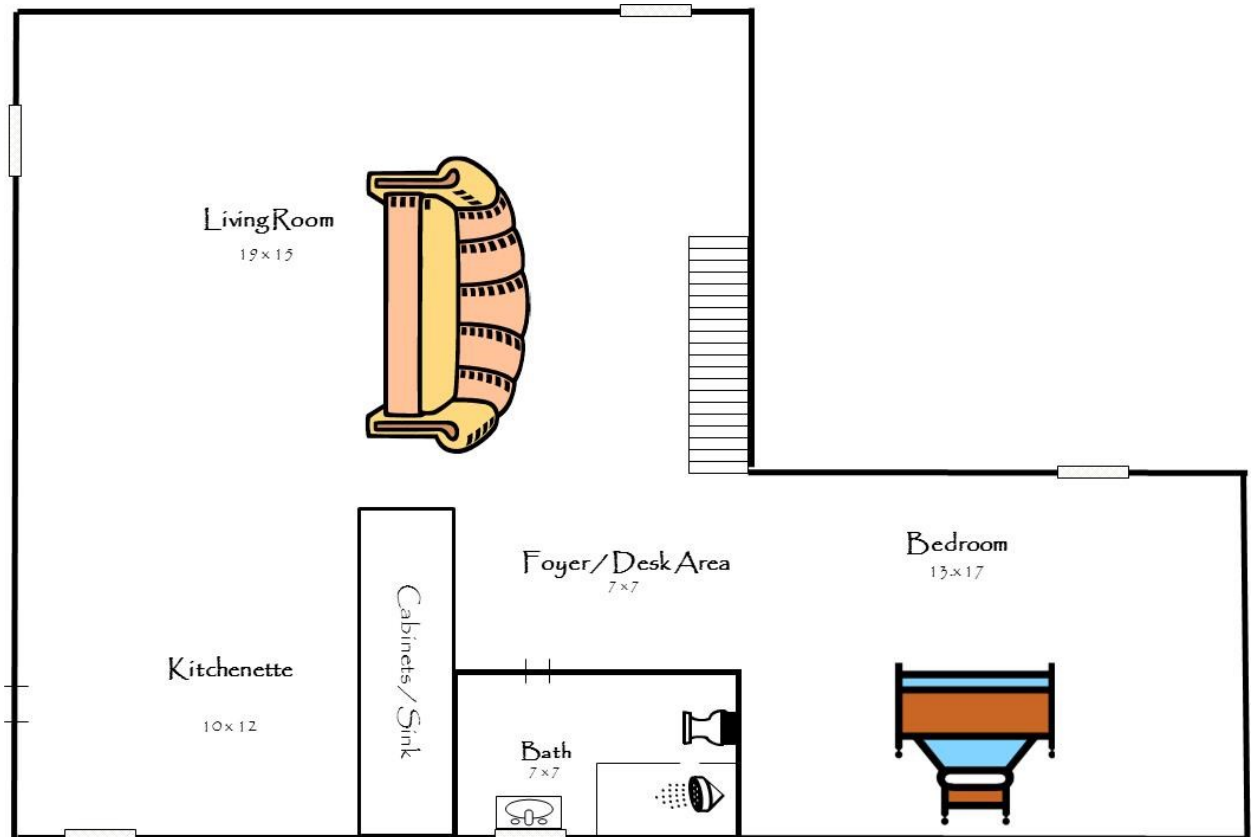


Addition of The Cellar at The One Bed and Breakfast

The Cellar features 750 square feet of additional living space with a full bathroom, king sized bed, living room and efficiency kitchenette with small bistro table, coffee maker, microwave, toaster oven, refrigerator and wet sink.

Guests can access The Cellar through a private entrance at the rear of the house. The floor plan of The Cellar and photos of the space are included for review.

The Cellar Floor Plan



The Cellar Photos





Personnel

The administrative and operational management functions of The One Bed and Breakfast will be performed by the residence owners solely. The One currently utilizes part time service providers for cleaning, laundry and general maintenance; however, these are contracted on an as needed basis. No additional personnel will be required.

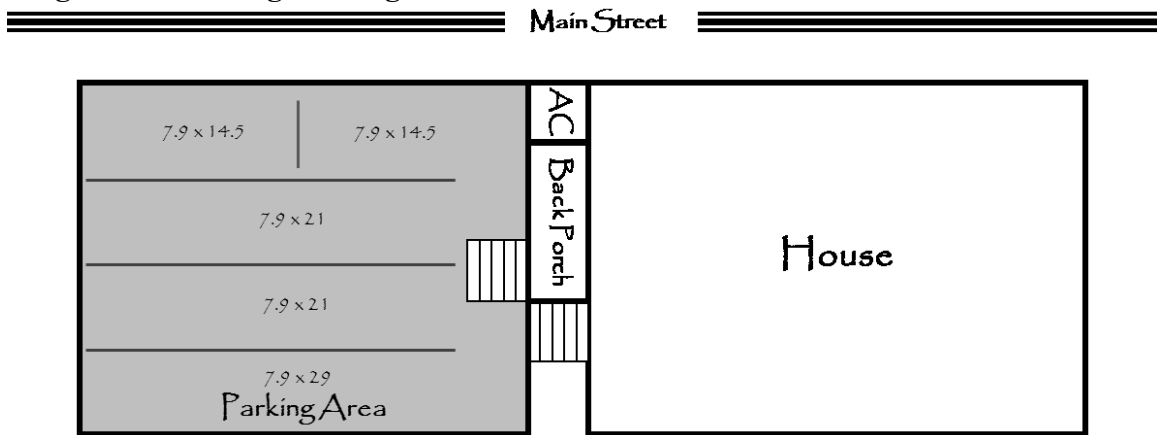
Renovation and Expansion Plans

As all internal renovations have been previously completed, there are no additional renovations required for the expansion proposed to The One Bed and Breakfast. The existing external structure will not be altered in any way. The existing structure has a separate side entrance on Main Street that is currently used for bed and breakfast guest entrance purposes. This entrance is proposed for usage for the addition of the Serenity Suite. The existing structure also has a separate back entrance in the parking area behind the house. This entrance is proposed for usage for the addition of the Cellar. Site Survey is attached separately and parking accommodations are diagramed below.

Off Street Parking Accommodations

There are five existing off street parking spaces provided on the property at 1 N. Boulevard.

Diagram of Existing Parking Area



View of Existing Parking Area



Neighborhood Support

On July 1, the following letter was sent to the surrounding neighbors of 1 North Boulevard asking for their support for The One Bed and Breakfast Project. Responses from all neighbors indicating their support are also included in this plan.

Friends and Neighbors,

In April of 2011, The One Bed and Breakfast officially opened for business. Over the past two years we have had the privilege to host literally thousands of guests visiting The Fan from as close as Midlothian and as far away as Australia...and many, many points in between. We have established repeat relationships with over 30 guests and have welcomed visitors to fellow Richmond businesses such as the VMFA, Carytown Veterinary Clinic, VCU and The Virginia Historic Society, to name just a few. Our guests rave about the luxury of parking their car and walking to a wide variety of entertainment, shopping and dining choices, all while enjoying the cozy and quaint feel of our fabulous neighborhood. We are so blessed with the success we've seen in a short time and the many wonderful guests we now consider friends!

Not a week goes by that we don't have to turn people away because we simply don't have enough space to accommodate all of our inquiries. Because there is such a high demand we would like to ask for your support in the expansion of our existing B&B to include two additional guest rooms. The One has become a popular destination for visitors from all over the world and has received amazing reviews on TripAdvisor, Bed and Breakfast.com, Google and Yelp. We hope you feel as we do that our guests have been a welcomed addition to our community and that our business has benefited our neighborhood. As our guest reviews indicate, our business has been successful and they love our neighborhood just as much as we do.

The additional suites would consist of an upstairs guest room and the finished area of our cellar. (Pictures and floor plans are attached for your reference and we would be happy to provide a personal tour of the space anytime you'd like!)

Please reply to this email at your earliest convenience, as we are anxious to submit our expansion request to the city for approval and would greatly appreciate your support!

All the best,

Sean and Polly Brooks
The One B&B Innkeepers
1 N. Boulevard
Richmond, VA 23220
804-359-1211

Support Responses

PAYNE – 11 North Boulevard

I am in full support of the expansion of The One B & B. Polly and Sean have done a great job with the place.... and are bringing great people to experience our wonderful neighborhood. I feel that this use is very compatible with our neighborhood.... and I want to encourage them in this venture.

KAUFMAN - 6 South Boulevard

Awesome news!! You have our support!!!

Carytown Emergency Vet

What a terrific idea - looks beautiful. Best of luck with the process and let me know if there is anything I can do to help.

MARTIN – 4 North Boulevard

You have our support!

CHEATHAM – 17 North Boulevard

Of course you have our support! I am thrilled to hear (although not surprised) that The One has been such a hit!

AUSTIN – 409 North Boulevard

We are pleased to support the expansion of The One B&B.

You are such an asset to our community with your lovely property and gracious hosting of so many civic events.

Best wishes for continued success.

PIERATT – 18 North Boulevard

Looks great! You have my support.

REYNOLDS - 19 North Boulevard

We support you!

GLICK – 105 North Boulevard

You have got ours, of course. Wishing you all the best in your endeavor. As we know, you've got the touch! Congrats.

CROPP – 506 North Boulevard

Congratulations on the success of your business! So it sounds like you're not planning to change the dimensions of your home, do I have that right? I'm surprised that public support is needed for you to make interior changes like this. You have my support to re-purpose space to add two new guest rooms.

LEIGHTON – 107 North Boulevard

Great news! Good luck with the expansion.

SPENCER – 10 North Boulevard

You have our support, given you have parking coverage.

SMALL - 500 North Boulevard

It seems reasonable to me.

Neighborhood Association / City Councilman Support

Preliminary business plans were presented in request for support of the project to the following neighborhood associations, as well as to City Councilman Charles Samuels:

Boulevard Association

On July 8, 2013, preliminary business plans were submitted to the Boulevard Association for review and the association indicated support of the project. Copy of support letter included below.

Museum District Association

On August 13, this expansion business plan was presented to the MDA Zoning Committee. Upon draft of the ordinance, the Zoning Committee will review with the MDA Board and make a recommendation to either Not Oppose or Oppose the plans.

Fan District Association

On July 9, 2013, preliminary business plans were submitted to the Fan District Association for review. A detailed review was provided for the FDA Zoning Committee Meeting on July 29 and they have expressed support for the expansion via email. Copy of support letter included below.

City Councilman Charles Samuels

On July 1, 2013, preliminary business plans were presented to the Museum District Association for review. Response provided: "Congratulations on the successes. Provided the FDA & Boulevard Association approve I will support you guys 100%."

Fan Woman's Club Board of Directors – Terri Treinen

I have no objection to your plans. Your home is so lovely and I'm glad to hear you have wonderful guests from all around the world. I know they love being in Richmond.

Boulevard Association Support Letter

Boulevard Association



To: Sean and Polly Brooks, Innkeepers of The One B & B, Richmond VA

Date: 06-09-13

RE: Proposed expansion of guest rooms

Sean / Polly,

Thanks for contacting me on July 8th 2013 in regard to your planned business expansion and seeking my input as current President of the Boulevard Association. I've reviewed the plans you provided along with the synopsis of your first year of business. It's great to hear that your business is thriving and that you are attracting so many guests locally and from across the world.

I've read several reviews on TripAdvisor.com and see that the vast majority of guests have great things to say about the existing accommodations you have built, the neighborhood, and you two personally. The sheer number of reviews is a clear indication that your guests are engaged and willing to go online to voice their opinions and post pictures. This boosts up our neighborhood as a destination. A rating of 4.5 out of 5 is impressive. As you know members of my own family have stayed with you when visiting from Florida and have raved about their experience.

The addition of your business to the neighborhood has been very additive. I have no opposition to your expansion plans and wish you luck in bringing them to fruition.

Rawley W. Pieratt
President, Boulevard Association

A handwritten signature in black ink, appearing to read 'Rawley W. Pieratt', written in a cursive style.

Fan District Association Zoning Committee Support Letter



The Fan District Association of Richmond, Virginia
208 N. Strawberry Street, Richmond, Virginia 23220

August 6, 2013

Polly Brooks
The One Bed and Breakfast
1 N. Boulevard
Richmond, VA 23220

Dear Madam:

Subject: General Support for Concept to Increase Occupancy at Bed and Breakfast

The Fan District Association of Richmond, VA, Inc., (FDA) Board of Directors (Board) has voted to support the concept of increasing the occupancy of the One Bed and Breakfast you operate at 1 N. Boulevard. The Board's continued support is conditional in that it must review and support detailed plans and specifications that accompany an application to the City of Richmond (City) Department of Planning and Development Review.

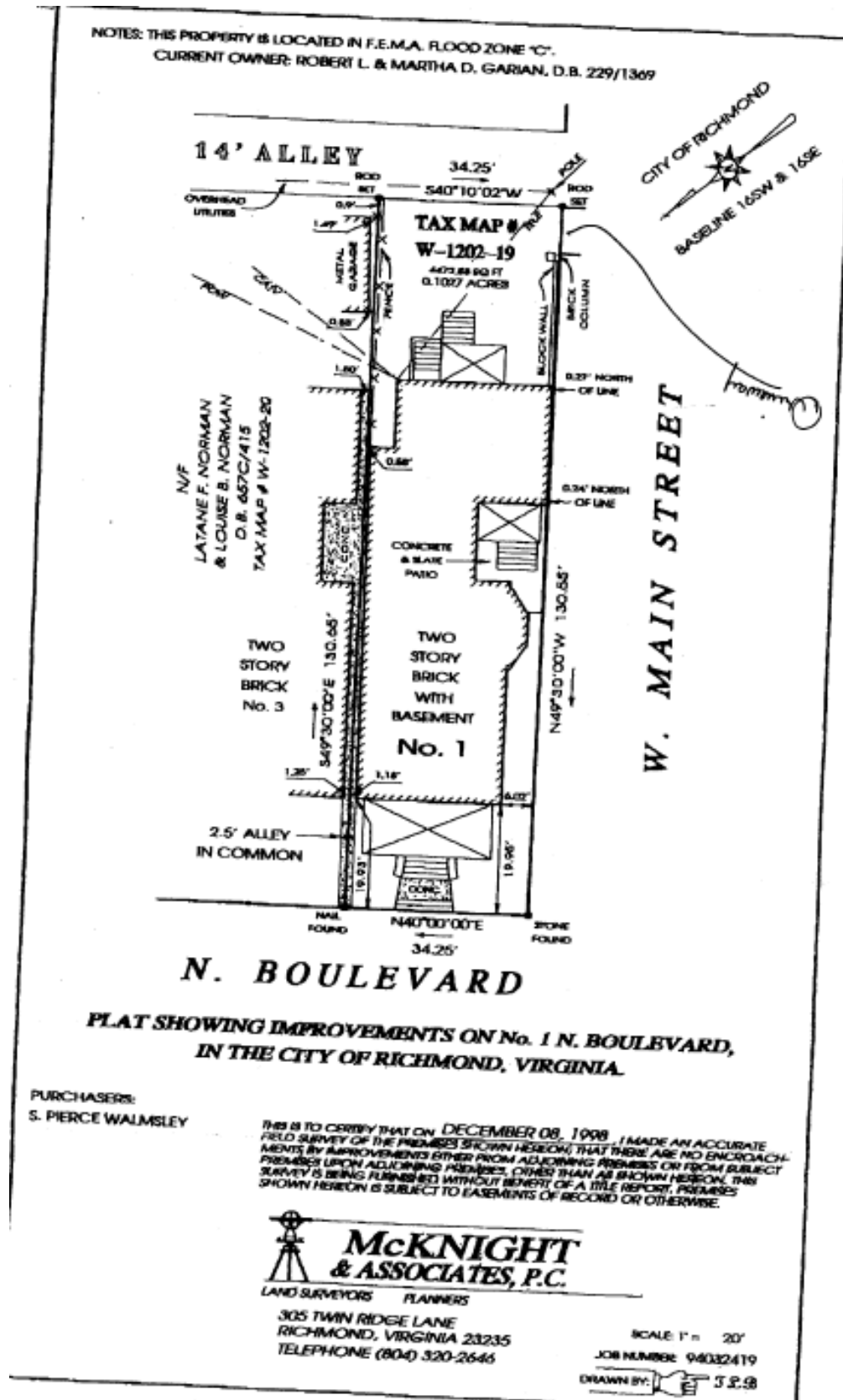
The FDA appreciates your attendance at its Zoning Committee meeting in July. You explained that you wish to increase the occupancy of your Bed and Breakfast by remodeling rooms and the basement. Committee members pointed out that remodeling, especially of the basement, may be problematic and include modifications that were not evident in the photographs you provided. The Board agrees that your remodeling will not create additional parking issues. The Board requests that you provide a copy of your application to the City so that the Board can confirm that the official plan conforms to the general concepts that you have presented.

The FDA Board appreciates your bringing this matter to its attention. Please feel free to contact me if you have additional questions, concerns, or issues.

Sincerely,

On Behalf of
Bill Montgomery
President

Copy of 1 N. Boulevard Site Survey





Museum
District
Association

Mr. Thompson
900 EAST BROAD STREET – CITY HALL
5TH FLOOR

Re: 1 N Boulevard

The applicant has asked for Special Use Permit to amend Ord. No. 2011-19-43, adopted Mar. 14, 2011, which authorized the special use of the property known as 1 North Boulevard for two tourist home lodging units within an owner occupied single-family dwelling, for the purpose of permitting two additional lodging units, upon certain terms and conditions.

The MDA Zoning & Land Use Committee has reviewed the plans and provided a recommendation to the MDA Board of Directors. After the review and consideration, the MDA Board of Directors voted unanimously to advise you that we:

A. Do not oppose this request (see comments below)

B. Oppose this request

Andy Scudder
President
Museum District Association

Stephen Versen 
Chair, Zoning & Land Use Committee
Museum District Association

COMMENTS:

- 1) The Applicant worked with the Zoning Committee Chair and MDA President to ensure their application and their actions met both the spirit and letter of the parking requirements asked of them by precedence and the neighborhood association.



City of Richmond, Virginia
Department of Planning and Development Review
City Hall, Richmond, Virginia 23219
804.646.6304 (f) 804.646.5789 www.richmondgov.com

To: Planning Commission
From: Land Use Administration
Date: February 3, 2014
RE: **Agenda Item #2, Ord. No. 2014-7:** To authorize the special use of the property known as 1001 North Lombardy Street for the purpose of permitting a restaurant and an outdoor dining area, upon certain terms and conditions.

Summary dates:

Council paper introduction:	January 13, 2014
Planning Commission public hearing:	February 3, 2014
City Council public hearing:	February 10, 2014

Summary facts:

I. PETITIONER

David Kohler
Kohler Management, LLC

II. LOCATION

1001 North Lombardy Street

III. PURPOSE

To authorize the special use of the property known as 1001 North Lombardy Street for the purpose of permitting a restaurant and an outdoor dining area, upon certain terms and conditions.

IV. SUMMARY & RECOMMENDATION

The subject property is a 4,959 square foot corner lot, which is situated on the northeast side of the intersection of West Leigh and North Lombardy Streets. The subject property is also located in the City's Carver neighborhood and the R-7 Single and Two-family Urban Residential Zoning District. The property is on the block bounded by West Leigh Street to the south, North Lombardy Street to the west, a gravel public alley to the north, and a vacant lot to the east. The property consists of one parcel totaling 0.114 acre of land area and is currently improved with a one story 1,202 square foot brick building that is currently occupied by a nonconforming retail bakery.

The applicant is seeking permission to add seating and outdoor dining to the existing retail bakery, known as Sugar Shack Donuts. The existing R-7 Single- and Two Family Urban Residential zoning district does not permit commercial uses. The property was rezoned from B-3 General Business to R-7 on July 22, 2002 and retains nonconforming rights from its previous use as an Auto Sales facility. The property was permitted to be converted to the existing retail bakery with only take-out food under these nonconforming rights. The provision of seats and outdoor dining would increase the required parking and is not permitted under the nonconforming provisions of the Zoning Ordinance. The applicant proposes to provide seating within the retail bakery and an outdoor dining area that is

approximately 400 square feet. The provision of seating would classify the establishment as a restaurant per the Zoning Ordinance. Under normal zoning requirements, sixteen (16) parking spaces would be required for the proposed restaurant use and outdoor dining. The proposed special use permit would require seven (7) parking spaces to be provided on site.

The City of Richmond's Master Plan designates the subject property at the intersection of Leigh and Lombardy Streets for General Office land use. Primary uses in this category are professional, business and administrative offices and medical and dental clinics, at varying intensities of development depending on the location and surrounding land uses. In areas of higher intensity, incidental convenience retail and personal services uses may be included. (p. 134). In addition, within the Near West District there are numerous, isolated single-site commercial uses or the traditional "corner store". Neighborhood commercial uses historically provided needed goods and services to adjacent residents, and when located in multi-story buildings were usually coupled with residential uses above. (p. 236)

Staff finds that the Master Plan supports the proposed the establishment as a restaurant and outdoor dining use. The structure is commercial in design and situated on a corner lot making it uniquely situated for the proposed use. Staff further finds that the City Charter conditions relative to the granting of special use permits have been met. Therefore, staff recommends approval of the special use permit request.

Staff Contact: Leigh V. Kelley, Planner I, 804-646-6384

V. FINDINGS OF FACT

a. Proposed Use of the Property

The applicant is seeking permission to add seating and outdoor dining to the existing retail bakery, known as Sugar Shack Donuts. The existing R-7 Single- and Two Family Urban Residential zoning district does not permit commercial uses. The property was rezoned from B-3 General Business to R-7 on July 22, 2002 and retains nonconforming rights from its previous use as an Auto Sales facility. The property was permitted to be converted to the existing retail bakery with only take-out food under these nonconforming rights. The provision of seats and outdoor dining would increase the required parking and is not permitted under the nonconforming provisions of the Zoning Ordinance.

b. Site Description

The subject property is a 4,959 square foot corner lot, which is situated on the northeast side of the intersection of Leigh and Lombardy Streets. Situated on the lot is a one story 1,202 square foot brick building and is situated one parcel totaling 0.114 acre of land area. The property is zoned R-7 Single- and Two Family Urban Residential zoning district does not permit commercial uses.

c. Master Plan

The City of Richmond's Master Plan designates the subject property at the intersection of Leigh and Lombardy Streets for General Office land use. Primary uses in this category are professional, business and administrative offices and medical and dental clinics, at varying intensities of development depending on the location and surrounding land uses. In areas of higher intensity, incidental convenience retail and personal services uses may be included. (p. 134). In addition, within the Near West District there are numerous, isolated single-site

commercial uses or the traditional “corner store”. Neighborhood commercial uses historically provided needed goods and services to adjacent residents, and when located in multi-story buildings were usually coupled with residential uses above. (p. 236)

d. Zoning and Ordinance Conditions

The existing retail bakery, known as Sugar Shack Donuts is located in R-7 Single- and Two Family Urban Residential zoning district which does not permit commercial uses. The property was rezoned from B-3 General Business to R-7 on July 22, 2002 and retains nonconforming rights from its previous use as an Auto Sales facility. The property was permitted to be converted to the existing retail bakery with only take-out food under these nonconforming rights. The provision of seats and outdoor dining would increase the required parking and is not permitted under the nonconforming provisions of the Zoning Ordinance. Some of the conditions placed in the proposed Special Use Permit are that covered trash containers shall be provided in the outdoor dining area. The outdoor dining area will be enclosed with a decorative wood or iron fence, except at entrances and exits. Furthermore, no live entertainment will be permitted in the outdoor dining area, and this area shall be closed by 09:00 p.m.

e. Surrounding Area

To the north of the subject property is a public alley which runs adjacent to a 23 unit two family detached townhome project. To the west is the Maggie Walker Governor School, to the south is CD King Hall; which is a part of Virginia Union University. Directly across Lombardy Street to the south are a series of newly constructed homes. Lastly, to the east is a vacant grassy lot zoned for R-7 Single- or Two-Family developments.

f. Neighborhood Participation

Staff has contacted 2nd District Council Representative, Chris Samuels, and the Carver Area Civic Improvement League regarding the special use permit request. Staff has received a letter of support from the Maggie L. Walker Governor’s School for Government & International Studies. Furthermore, Staff has received no letters of opposition.

VI. ATTACHMENTS

- a. Vicinity Map**
- b. Letter of Support**
- c. Draft Ordinance**
- d. Application Form**
- e. Applicant’s Report**
- f. Plans**



**City of Richmond
Department of Planning
& Development Review**

Special Use Permit

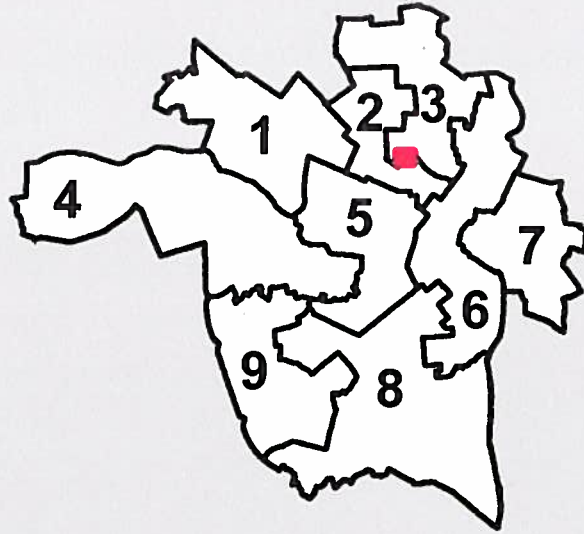
LOCATION: 1001 North Lombardy Street

COUNCIL DISTRICT: 2

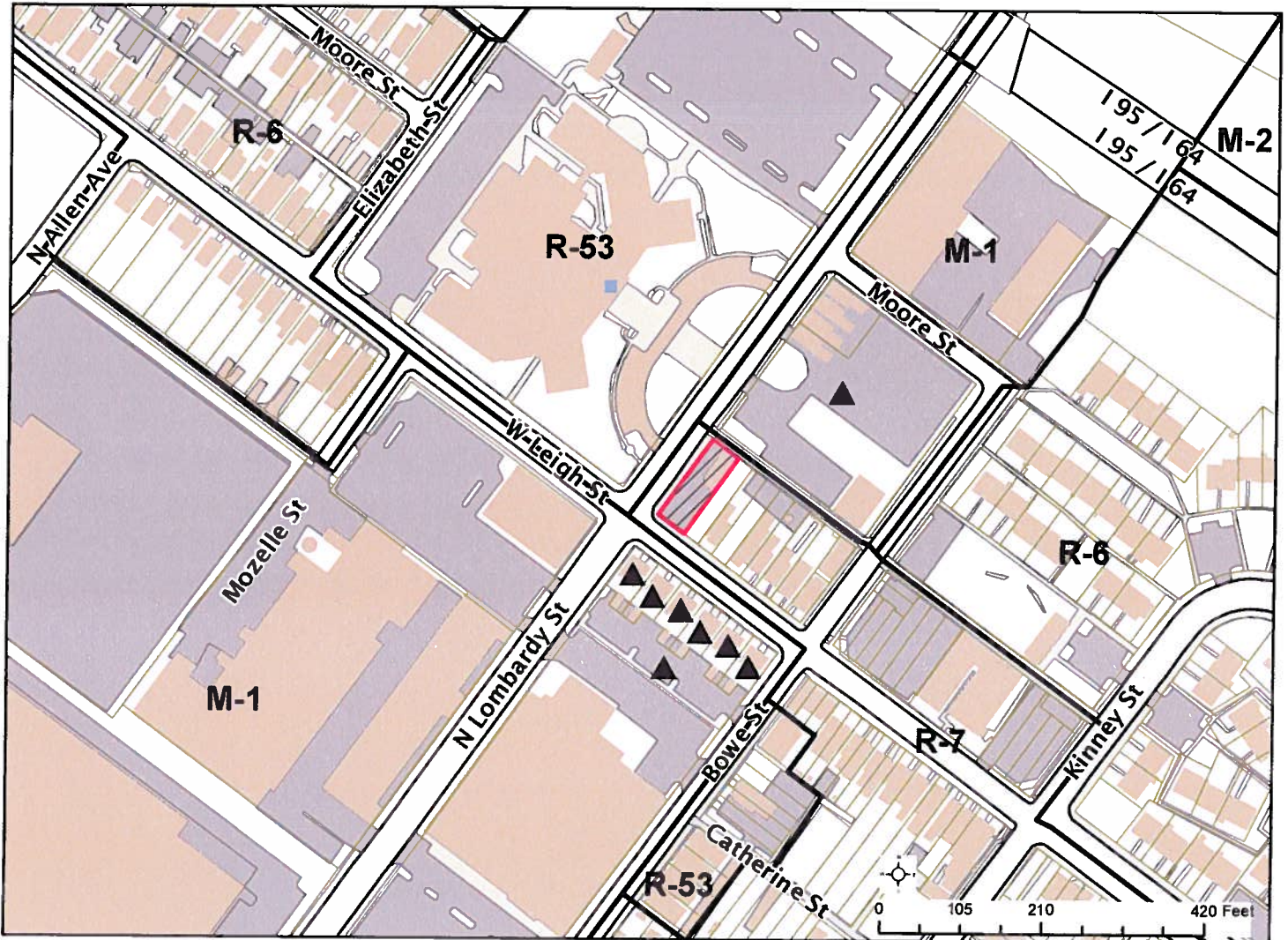
APPLICANT: David Kohler

EXISTING USE: Bakery

PROPOSED USE: To authorize the special use of the property known as 1001 North Lombardy Street for the purpose of permitting a restaurant and an outdoor dining area, upon certain terms and conditions.



For questions, please contact Lory Markham at 646-6309 or Lory.Markham@richmondgov.com





GOVERNOR'S SCHOOL for Government & International Studies

February 25, 2013

City of Richmond
Department of Planning & Development Review
Land Use Administration
900 E. Broad Street, Room 511
Richmond, VA 23219

Reference: Sugar Shack, 1000 Block of N. Lombardy Street
Special Use Permit

To Whom It May Concern:

I am writing to voice Maggie L. Walker Governor's School support of the new neighborhood donut and coffee shop, 'Sugar Shack,' due to open mid-March, 2013. As a community, we are very pleased to welcome this business onto previously unused property. Our faculty, parents and students will enjoy sitting down for coffee and fresh pastry with their conversation. Thus, we support a special permit that will allow indoor seating.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jeffrey W. McGee', written over a horizontal line.

Jeffrey W. McGee
Director

C: Richmond City Council
Christopher A. Hilbert, Councilman

1000 North
Lombardy
Street
Richmond, VA
23220

804/354-6800

FAX
804/354-6939

INTRODUCED: January 13, 2014

AN ORDINANCE No. 2014-7

To authorize the special use of the property known as 1001 North Lombardy Street for the purpose of permitting a restaurant and an outdoor dining area, upon certain terms and conditions.

Patron – Mayor Jones (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: FEB 10 2014 AT 6 P.M.

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. That the property known as 1001 North Lombardy Street and identified as Tax Parcel No. N000-0676/034 in the 2013 records of the City Assessor, being more particularly shown on a plat entitled “Plat of Property Situated on Northeast Corner of N. Lombardy & W. Leigh Streets, City of Richmond, Virginia,” prepared by Robert M. Blankenship, III, and dated November 28, 1984, a copy of which is attached to and made a part of this ordinance, is hereby permitted to be used for the purpose of a restaurant and an outdoor dining area, substantially as shown on the plan identified as Exhibit A, a copy of which is attached to and made a part of this ordinance.

§ 2. That the adoption of this ordinance shall constitute the granting of a special use permit for the property, which shall be transferable from the owner of the property to the successor

AYES: _____ NOES: _____ ABSTAIN: _____

ADOPTED: _____ REJECTED: _____ STRICKEN: _____

or successors in fee simple title of the owner, whether acquired by operation of law, deed or otherwise, and which shall run with the land.

§ 3. That the Commissioner of Buildings is hereby authorized to issue to the owner of the property a building permit substantially in accordance with the plans referred to above for the aforementioned purpose, subject to the following terms and conditions:

(a) The owner of the property shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the property, except as otherwise provided in this ordinance.

(b) An application for a building permit shall be made within twenty-four (24) months from the effective date of this ordinance. This building permit shall expire and shall become null and void if any necessary construction has not commenced within one hundred eighty (180) days from the date of the building permit or if construction is suspended or abandoned for a period of one hundred eighty (180) days at any time after such construction has commenced, as provided in any applicable provisions of the Virginia Uniform Statewide Building Code. Should application for the building permit not be made within twenty-four (24) months after the effective date of this ordinance or should the building permit expire and become null and void after the expiration of the twenty-four (24) month time period for making application for the building permit, the privileges granted by this ordinance shall terminate and the special use permit shall become null and void.

(c) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the subject property have been paid.

(d) All required final grading and drainage plans, together with all easements made necessary by such plans, shall be approved by the Director of Public Utilities prior to the issuance of building permits.

(e) Storm or surface water shall not be allowed to accumulate on the land. The owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the property so as not to adversely affect or damage adjacent property or public streets and the use thereof.

(f) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(g) An outdoor dining area, accessory to the restaurant use of the property, shall be permitted as shown on the plans attached to this ordinance.

(h) Covered trash containers shall be provided in the outdoor dining area. Fences, walls, or vegetative screening with a decorative wood or iron shall be provided around the outdoor dining area, except at entrances and exits, to prevent refuse from blowing onto adjacent properties or streets. In no case shall chain link, chain link with slats or similar fencing be used.

(i) The outdoor dining area shall be closed by 9:00 p.m.

(j) No live entertainment shall be permitted in the outdoor dining area. No music shall be played after 9:00 p.m. No public address system operated in the outdoor dining area after 9:00 p.m.

(k) Any outdoor lighting of the property shall be provided within the bounds of the property and directed or shielded so as not to shine directly on adjacent residential properties.

(l) A minimum of seven parking spaces shall be provided on the property as shown on the plans attached to this ordinance.

(m) Landscaping and screening shall be provided as shown on the plans attached to this ordinance and shall comply with off street parking perimeter buffer and landscaping requirements of section 114-710.13 of the Code of the City of Richmond (2004), as amended.

(n) Any encroachments existing, proposed on the plans attached to this ordinance or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2004), as amended.

(o) In all other respects, the use of the property shall be in accordance with the applicable underlying zoning regulations.

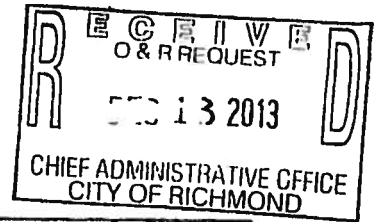
§ 4. That the privileges granted by this ordinance may under certain circumstances be revoked. Upon noting that a condition of a special use permit has been violated, the Zoning Administrator shall issue a written notice of violation to the property owner. The notice shall inform the property owner (i) which condition or conditions have been violated, (ii) the nature of the violation, and (iii) that the City Planning Commission shall hold a public hearing at which it shall review the violation and the special use permit pursuant to the provisions of sections 114-1050.7 through 114-1050.11 of the Code of the City of Richmond (2004), as amended, if (a) the property owner does not abate the violation within thirty (30) days of the issuance of the notice or (b) three (3) notices of violation are issued to the property owner within any twelve (12) month period. No action taken pursuant to the provisions of this section shall in any way limit the City's right to pursue any other remedy at law or in equity against the property owner. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 114-1080 of the Code of the City of Richmond (2004), as amended, or any other applicable laws or regulations.

§ 5. That when the privileges granted by this ordinance terminate and the special use permit becomes null and void, use of the property shall be governed thereafter by the zoning regulations prescribed for the district in which the property is then situated.

§ 6. This ordinance shall be in force and effect upon adoption.



CITY OF RICHMOND
INTRACITY CORRESPONDENCE



O&R REQUEST RECEIVED

JAN 06 2014

EDITION: 1

DATE: December 11, 2013
TO: The Honorable Members of City Council
THROUGH: Dwight C. Jones, Mayor (Patron: Mayor, by Request)
THROUGH: Byron C. Marshall, Chief Administrative Officer
THROUGH: Peter H. Chapman, Deputy Chief Administrative Officer for Economic Development and Planning
FROM: Mark A. Olinger, Director, Department of Planning and Development Review
SUBJECT: Special use permit at 1001 North Lombardy Street for a restaurant and an outdoor dining area

OFFICE OF CITY ATTORNEY

Handwritten signatures and initials

ORD. OR RES. No. _____

PURPOSE: To authorize the special use of the property known as 1001 North Lombardy Street for the purpose of permitting a sit-down restaurant and an outdoor dining area, upon certain terms and conditions.

REASON: The applicant is seeking permission to add seating and outdoor dining to the existing retail bakery, known as Sugar Shack Donuts. The existing R-7 Single- and Two Family Urban Residential zoning district does not permit commercial uses.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its January 6, 2014, meeting.

BACKGROUND: The subject property is a 4,959 square foot corner lot, which is situated on the northeast side of the intersection of Leigh and Lombardy Streets. Situated on the lot is a one story 1,202 square foot brick building that is currently occupied by a nonconforming retail bakery.

201312003

Under normal zoning requirements, sixteen (16) parking spaces would be required for the proposed restaurant use and outdoor dining. The proposed Ordinance would require seven (7) parking spaces to be provided on site per the attached plans.

Pursuant to the special use permit ordinance, the outdoor dining area will be closed by 9:00p.m. and live entertainment will not be permitted within the main restaurant building nor the outdoor dining area. No music or public address system shall be operated in the outdoor dining area at anytime.

To the north of the subject property is a public alley which runs adjacent to a 23 unit two family detached townhome project. To the west is the Maggie Walker Governor School, to the south is CD King Hall; which is a part of Virginia Union University. Directly across Lombardy Street to the south are a series of newly constructed homes. Lastly, to the east is a vacant grassy lot zoned for R-7 Single- or Two-Family development.

The City of Richmond's Master Plan designates the subject property at the intersection of Leigh and Lombardy Streets for General Office land use. Primary uses in this category are professional, business and administrative offices and medical and dental clinics, at varying intensities of development depending on the location and surrounding land uses. In areas of higher intensity, incidental convenience retail and personal services uses may be included. (p. 134). In addition, within the Near West District there are numerous, isolated single-site commercial uses or the traditional "corner store". Neighborhood commercial uses historically provided needed goods and services to adjacent residents, and when located in multi-story buildings were usually coupled with residential uses above. (p. 236)

FISCAL IMPACT: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

COST TO CITY: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

REVENUE TO CITY: \$1,800 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: January 13, 2014

CITY COUNCIL PUBLIC HEARING DATE: February 10, 2014

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL AGENCIES: City Planning Commission,
February 3, 2014

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)
City Assessor (for preparation of mailing labels for public notice)

O&R Request
November 5, 2013
Page 3 of 4

RELATIONSHIP TO EXISTING ORDINANCES: None.

ATTACHMENTS: Application Form, Applicant's Report, Draft Ordinance, Survey, Plan

STAFF: Leigh V. Kelley, Planner I
Land Use Administration (Room 511)
646-6384

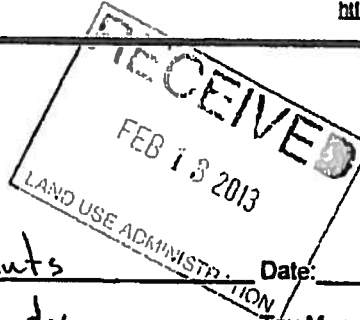
PDR O&R No. 13-27



Application for SPECIAL USE PERMIT

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 648-6304
<http://www.richmondgov.com/>

9699



Application is hereby submitted for: (check one)

- special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment

Project Name/Location

Project Name: Sugar Shack Donuts Date: 2/11/13

Property Address: 1001 N. Lombardy Tax Map #: N0000676034

Fee: \$1,800 Total area of affected site in acres: _____
(See page 3 for fee schedule, please make check payable to the "City of Richmond")

Zoning
Current Zoning: R-7

Proposed Use
(Please include a detailed description of the proposed use in the required applicant's report)

Existing Use: Used Car lot
Is this property subject to any previous land use cases?
 Yes No
If Yes, please list the Ordinance Number:

Convert existing building on site from a used car lot office to a Sit down Bakery

Applicant/Contact Person: David Kohler
Company: Kohler Management, LLC
Mailing Address: P.O. Box 820 1523 West Ave 23220
City: Richmond State: VA Zip Code: 23218-0820
Telephone: (804) 921-1456 Fax: (804) 771-4804
Email: David.P.Kohler@Dom.com

Property Owner: David Kohler
If Business Entity, name and title of authorized signer: Kohler Management, LLC
Mailing Address: P.O. Box 820
City: Richmond State: VA Zip Code: 23218-0820
Telephone: (804) 921-1456 Fax: (804) 771-4804
Email: David.P.Kohler@Dom.com

Property Owner Signature: [Signature]

(The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.)

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

Special Use Permit / Applicant's Report:

Feb. 11, 2013

Property located at 1001 N. Lombardy

Dear City of Richmond and Richmond City Council,

This request is being made for the Special Use for the property located on the corner of W. Leigh St. and N. Lombardy directly across the street from the Maggie Walker Governor's School. The current property is zoned R-7 and had been used and permitted for a used car lot (Quick Cash Auto Sales) up until April of 2012, when the lease was terminated by new property owner. The new property owner is seeking to enhance and compliment the neighborhood with a new use for this property that would add to the growth and advancement of the Carver, the area schools and community at large.

With the above goals in mind, a lease has been executed for this property for the establishment of a new bakery known as "Sugar Shack Donuts", which is due to open for business shortly. Permits have been secure for the conversion of the property from the used car lot to the new bakery, however existing zoning regulations do not permit dine-in or seating tables for this location. Hence, the request is hereby being made to grant a Special Use Permit for this property to allow dine-in patrons and patio seating for the establishment of onsite dining and seating. Onsite seating and dining is essential for the survival of the bakery or for any future potential dining establishment at this location. Onsite dining will not only enhance the ambiance for the customer's, neighborhood and area, however allow the Bakery to remain in business creating an attractive atmosphere where patrons will want to frequent and support.

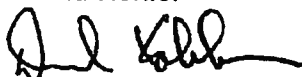
Listed here below are the anticipated operating specifics for the proposed eat-in bakery:

- Approximately 3 – 4 employees on site during hours of operation.
- Hours of operation: 6:00 AM to 10:00 PM.
- Averaging Approximately 10 -12 vehicles per hour depending upon time of day.
- Re-gentrification of façade and interior building (See attached pictures) complimenting existing neighborhood and area schools.

Please support the requested Special Use Permit that will add to the growth and advancement of the Carver, the area schools and community at large. Thank you for your consideration.

Sincerely,

David Kohler



David Kohler
1523 West Ave.
Richmond, VA 23220
Office: (804) 771-4470
February 12, 2013

City of Richmond Planning and Richmond City Council
900 E. Broad St., Rm. #511
Richmond, VA 23219

RE: Support for the establishment of Sugar Shack Donuts at 1001 N. Lombardy St., Richmond, VA

Dear City of Richmond Planning and Richmond City Council,

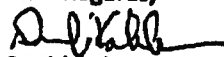
I am the owner of multiple properties in the Carver community and also the property owner of 1001 N. Lombardy, the proposed location for the new Sugar Shack seat-in Bakery. I live within walking distance of the Bakery and have for the past 11 years. I have recently decided to invest in my neighborhood and am now the proud owner of the following properties (all within walking proximity of the bakery):

- 1501 W. Leigh St.
- 1505 W. Leigh St.
- 1509 W. Leigh St.
- 1517 W. Leigh St.
- 1521 W. Leigh St.
- 1106 W. Clay St.
- 1108 W. Clay St.
- 1110 W. Clay St.
- 1112 W. Clay St.
- 1114 W. Clay St.
- 1224 W. Moore St.
- 1224 W. Moore St.
- 1007 Kinney St.
- 1003 Kinney St.

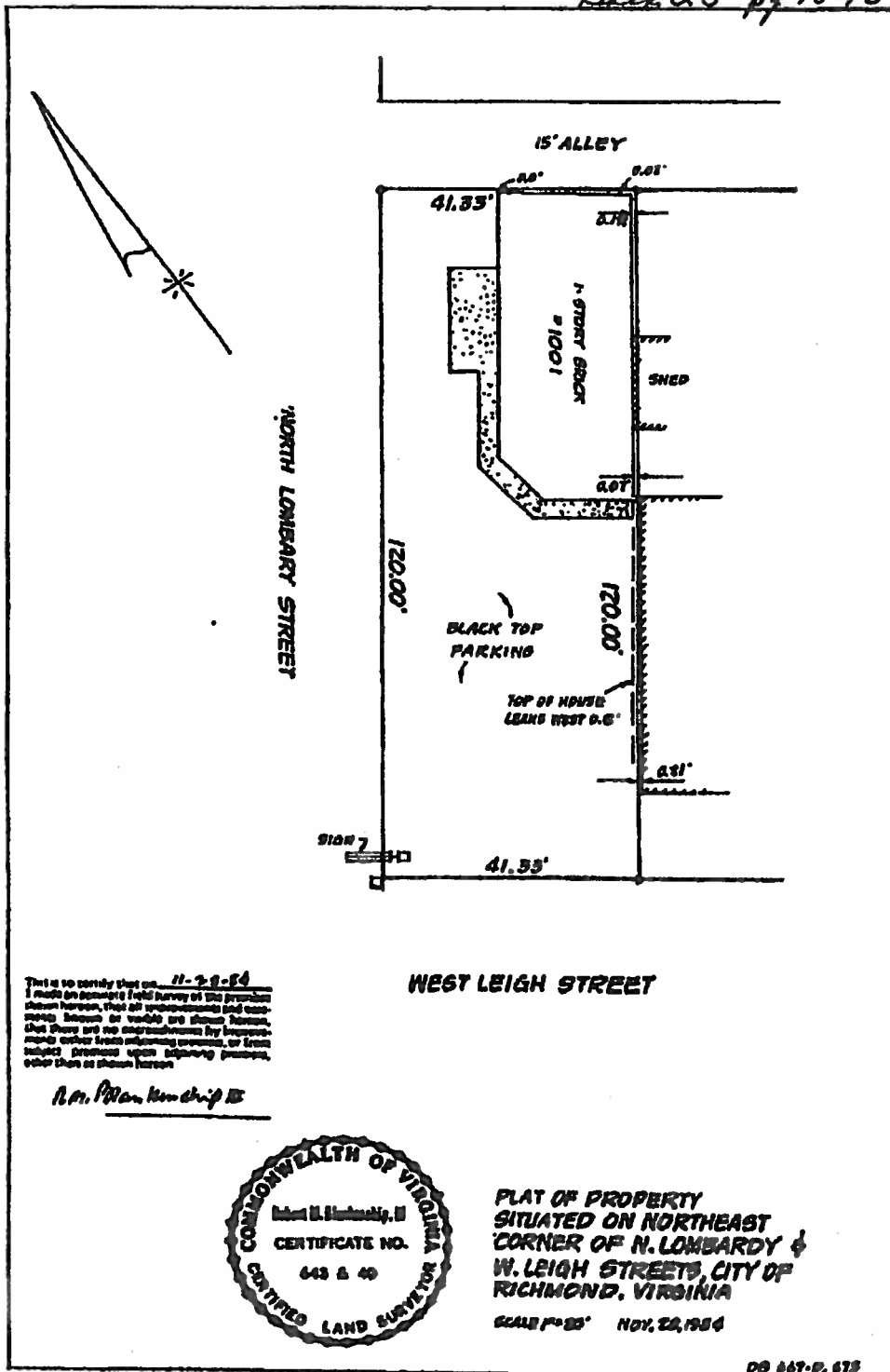
I have been approached by multiple used car dealer's to continue the status quo business as currently permitted at this location; however this is the wrong use for this location and a detraction from our neighborhood. The bakery (Sugar Shack Donut) is a compliment to our neighborhood, the area schools, Carver and the Community in general. I have worked hard to create a community atmosphere that will attract more people wanting to live and work in Carver and add to the quality of life. I fully endorse this request for the Special Use permit to add seating capability to the bakery that will enhance the ambiance, experience and quality of life for all. Thank you in advance for your support and endorsement.

Please feel free to contact me to further discuss all aspects of this quality improvement to our neighborhood.

Kind Regards,


David Kohler

Book 25 pg 1842



This is to certify that on 11-29-54
 I made an accurate field survey of the premises
 shown hereon, that all measurements and com-
 putations herein are correct, and that there
 are no encroachments by improve-
 ments other than those shown, or from
 adjacent premises upon adjoining premises,
 other than as shown hereon.

R. M. Man Kinship, Jr.

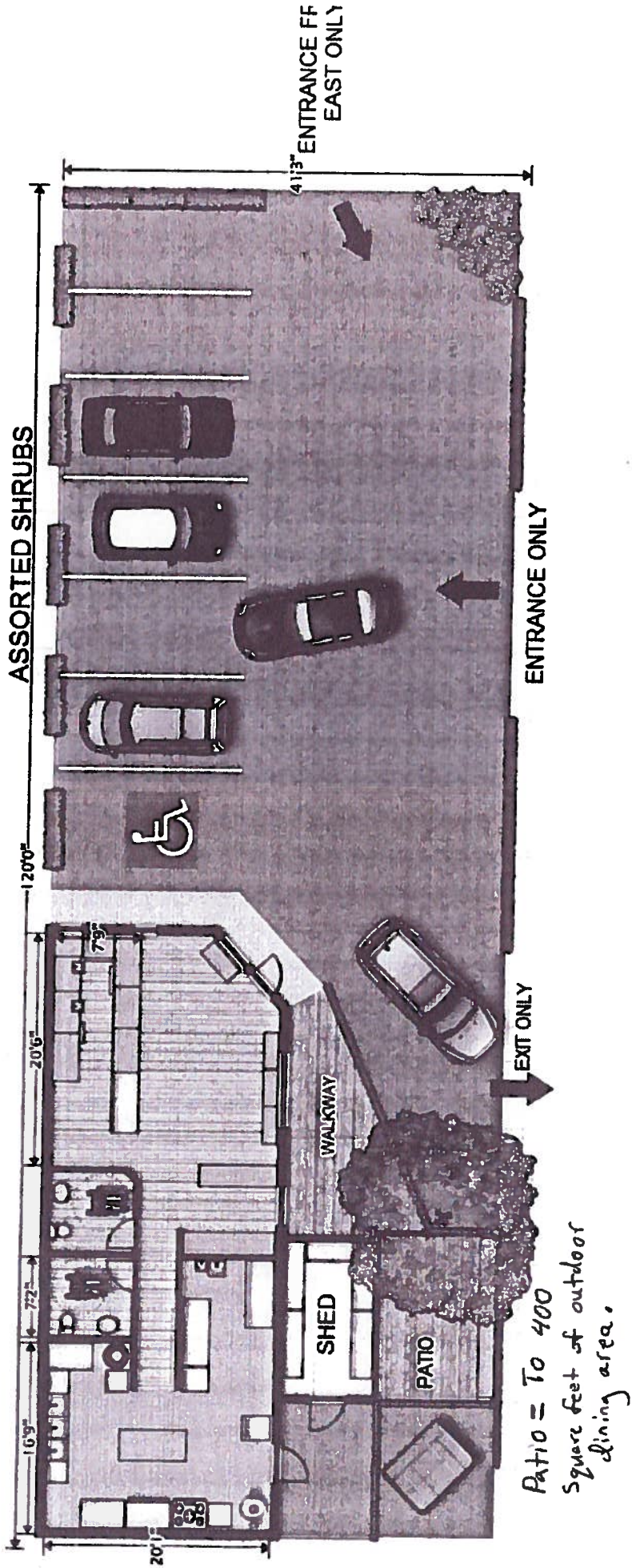


PLAT OF PROPERTY
 SITUATED ON NORTHEAST
 CORNER OF N. LOMBARDY &
 W. LEIGH STREETS, CITY OF
 RICHMOND, VIRGINIA

SCALE 1"=20' NOV. 22, 1954

DB 267-D, 673

548





City of Richmond, Virginia
Department of Planning and Development Review
City Hall, Richmond, Virginia 23219
804.646.6304 (f) 804.646.5789 www.richmondgov.com

To: Planning Commission
From: Land Use Administration
Date: February 3, 2014
RE: **Agenda Item #3, Ord. No. 2014-8:** To authorize the special use of the property known as 1900 Avondale Avenue for the purpose of permitting no more than three (3) dwelling units, upon certain terms and conditions. *Council District 3*

Summary dates:

Council paper introduction:	January 13, 2014
Planning Commission public hearing:	February 3, 2014
City Council public hearing:	February 10, 2014

Summary facts:

I. PETITIONER

Joan and Thomas Phipps
1907 Floyd Avenue
Richmond, VA 23220

II. LOCATION

1900 Avondale Avenue

III. PURPOSE

To authorize the special use of the property known as 1900 Avondale Avenue for the purpose of permitting no more than three (3) dwelling units, upon certain terms and conditions.

IV. SUMMARY & RECOMMENDATION

The subject property is located in an R-4 Single-Family Residential District, which does not permit multi-family use. The applicant is requesting a special use permit that would allow re-establishing a former apartment unit in an existing single-family detached dwelling and a future freestanding garage with apartment unit above.

According to the Zoning Office, an addition was made to the existing dwelling which created an apartment dwelling unit within the existing structure. This occurred in the 1920s, when the property was still located in Henrico County. In 1970, once the property was located in the City of Richmond, the property was granted a variance by the Board of Zoning Appeals to allow the German Club Fraternity a certificate of occupancy for a fraternity house. In 1966, a variance was granted by the Board of Zoning Appeals to permit the Richmond Athletic Club to use the property as a private club. These approvals overrode an approval in the 1940s to allow conversion of the dwelling to two-family use. Currently, single-family use is the only permitted residential use of the property.

Staff finds that permitting no more than three dwelling units on the subject property would yield a residential density that is well within the density range recommended for the subject property by the Master Plan, on a parcel that is considerably larger than the adjacent single-family detached parcels in the neighborhood. The impact of re-establishing

an apartment unit located fully within an existing structure and constructing a freestanding garage with an apartment unit above would not be substantial.

Staff further finds that with the conditions of the ordinance, the safeguards contained within the City Charter, relative to the granting of special use permits, are met. Therefore, staff recommends approval of the special use permit request.

Staff Contact: Matthew Ebinger, Senior Planner, 646-6308

V. FINDINGS OF FACT

a. Proposed Use of the Property

The proposed use of the property is no more than three dwelling units, comprised of a re-established former apartment unit in an existing single-family detached dwelling and a future freestanding garage with apartment unit above. The total proposed density of the subject property would be 1.7 units per acre.

b. Site Description

The subject property is located in the City's Rosedale neighborhood and North planning district, at the terminus of Avondale Avenue and just east of Interstate 95. The 1.920 acre property is improved with a single-family detached residence. The dwelling was, according to the applicant, constructed in the 1800s and was historically used as the Deep Run Hunt Club.

c. Master Plan

The City of Richmond's Master Plan designates the subject property for Single Family (Low Density) land use. Primary uses in this category are "single-family detached dwellings at densities up to seven units per acre" (p. 133).

d. Zoning and Ordinance Conditions

The special use permit ordinance would assure that no more than three dwelling units would be located on the property, comprised of the main house, the apartment unit attached to the main house, and an apartment unit above a freestanding garage.

Areas sufficient to accommodate the on-site parking of no fewer than three vehicles shall be provided for the residential use of the property.

Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

e. Surrounding Area

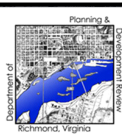
Parcels to the east of the subject property are zoned R-3 and are generally between 0.2-0.4 acres in size. The parcel to the north (Imperial Plaza) is zoned R-73 (multi-family residential) and contains several multilevel residential towers. The subject property is bound by Interstate right-of-way to the west and south. Residential (single-family and multi-family) land use predominates in the immediate vicinity, with some institutional land use as well.

f. Neighborhood Participation

Staff has received letters of support from the Rosedale Civic Association, Councilman Agelasto, and Councilman Hilbert. A petition of support signed by local property owners was also submitted to staff.

VI. ATTACHMENTS

- a. Vicinity Map**
- b. Images**
- c. Ordinance**
- d. Application Form**
- e. Applicant's Report**
- f. Letters of Support & Petition**
- g. Plans & Survey**



City of Richmond Department of Planning & Development Review

Special Use Permit

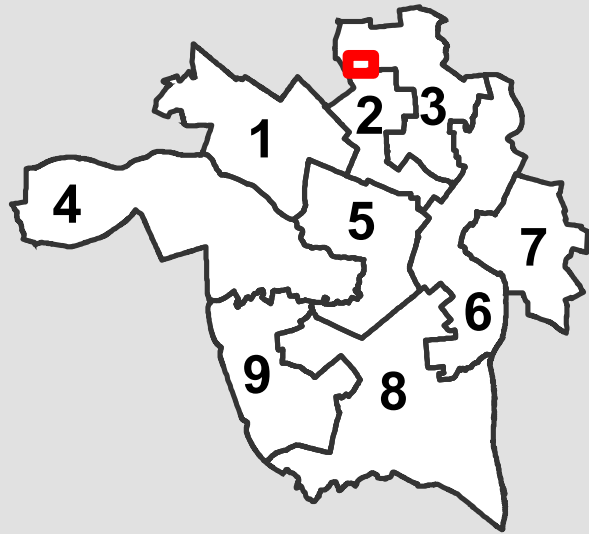
LOCATION: 1900 Avondale Avenue

COUNCIL DISTRICT: 3

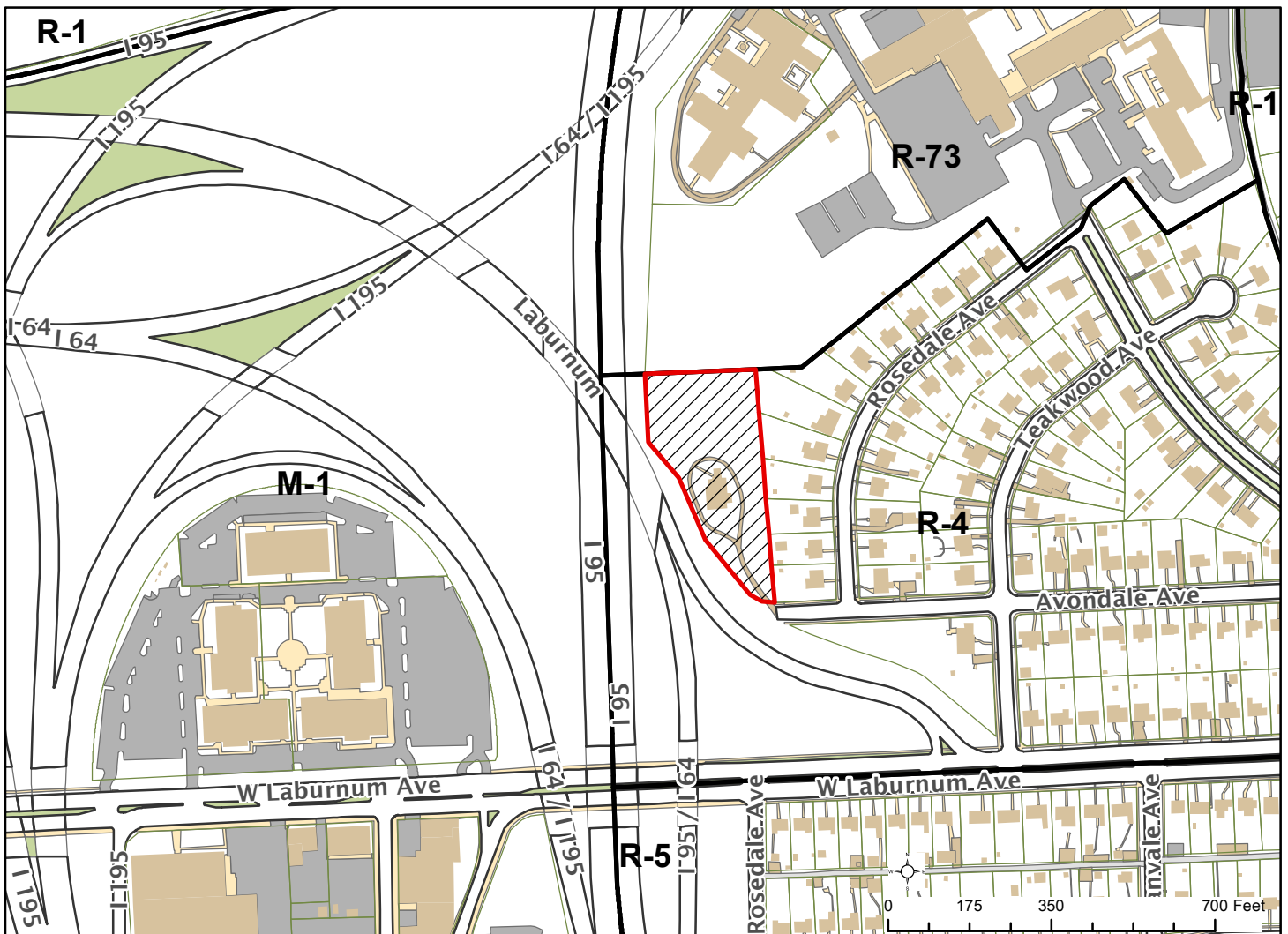
APPLICANT: Joan and Thomas Phipps

EXISTING USE: Single Family Dwelling

PROPOSED USE: To authorize the special use of the property known as 1900 Avondale Avenue for the purpose of permitting no more than three (3) dwelling units, upon certain terms and conditions.



For questions, please contact Lory Markham at 646-6309 or Lory.Markham@richmondgov.com



Item 3 – 1900 Avondale Avenue



Subject property from Avondale Avenue



Site of future garage/apartment unit



Existing pocket door between apartment unit and main house



Rear entrance to apartment unit



Neighborhood houses with subject property in background

INTRODUCED: January 13, 2014

AN ORDINANCE No. 2014-8

To authorize the special use of the property known as 1900 Avondale Avenue for the purpose of permitting no more than three (3) dwelling units, upon certain terms and conditions.

Patron – Mayor Jones (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: FEB 10 2014 AT 6 P.M.

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. That the property known as 1900 Avondale Avenue and identified as Tax Parcel No. N017-0442/043 in the 2013 records of the City Assessor, being more particularly shown on the plat entitled “Improvements on 1.920 Acres of Land Known as #1900 Avondale Avenue, City of Richmond, Virginia,” prepared by Balzer and Associates, Inc., and dated November 8, 2012, a copy of which is attached to and made a part of this ordinance, is hereby permitted to be used for the purpose of no more than three (3) dwelling units, substantially as shown on Sheets 1 through 4 of the plans entitled “1900 Avondale” and dated October 14, 2013, and Sheets T-1, A-1, and A-2, including the inset thereto entitled “A-2 Inset Showing Kitchen,” through A-6 of the plans entitled

AYES: _____ NOES: _____ ABSTAIN: _____

ADOPTED: _____ REJECTED: _____ STRICKEN: _____

“The Marblehead,” prepared by Ronald F. DiMauro Architects, Inc., and dated January 1, 2007, copies of which are attached to and made a part of this ordinance.

§ 2. That the adoption of this ordinance shall constitute the granting of a special use permit for the property, which shall be transferable from the owner of the property to the successor or successors in fee simple title of the owner, whether acquired by operation of law, deed or otherwise, and which shall run with the land.

§ 3. That the Commissioner of Buildings is hereby authorized to issue to the owner of the property a building permit substantially in accordance with the plans referred to above for the aforementioned purpose, subject to the following terms and conditions:

(a) The owner of the property shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the properties, except as otherwise provided in this ordinance.

(b) An application for a building permit, or request to reinstate an existing application for a building permit, for the apartment unit attached to the main house referenced below shall be made within twenty-four (24) months from the effective date of this ordinance. This building permit shall expire and shall become null and void if any necessary construction has not commenced within one hundred eighty (180) days from the date of the building permit or if construction is suspended or abandoned for a period of one hundred eighty (180) days at any time after such construction has commenced, as provided in any applicable provisions of the Virginia Uniform Statewide Building Code. Should application for the building permit not be made within twenty-four (24) months after the effective date of this ordinance or should the building permit expire and become null and void after the expiration of the twenty-four (24) month time period for making

application for the building permit, the privileges granted by this ordinance shall terminate and the special use permit shall become null and void.

(c) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the subject property have been paid.

(d) All required final grading and drainage plans, together with all easements made necessary by such plans, shall be approved by the Director of Public Utilities prior to the issuance of building permits.

(e) Storm or surface water shall not be allowed to accumulate on the land. The owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the property so as not to adversely affect or damage adjacent property or public streets and the use thereof.

(f) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(g) The use of the property shall consist of a total of no more than three (3) dwelling units, consisting of the main house, the apartment unit attached to the main house, and an apartment unit above a freestanding garage, substantially as shown on the plans attached to this ordinance.

(h) Areas sufficient to accommodate the on-site parking of no fewer than three (3) vehicles shall be provided for the residential use of the property.

(i) Any encroachments existing, proposed on the attached plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2004), as amended.

(j) In all other respects, the use of the properties shall be in accordance with the applicable underlying zoning regulations.

§ 4. That the privileges granted by this ordinance may under certain circumstances be revoked. Upon noting that a condition of a special use permit has been violated, the Zoning Administrator shall issue a written notice of violation to the property owner. The notice shall inform the property owner (i) which condition or conditions have been violated, (ii) the nature of the violation, and (iii) that the City Planning Commission shall hold a public hearing at which it shall review the violation and the special use permit pursuant to the provisions of sections 114-1050.7 through 114-1050.11 of the Code of the City of Richmond (2004), as amended, if (a) the property owner does not abate the violation within thirty (30) days of the issuance of the notice or (b) three (3) notices of violation are issued to the property owner within any twelve (12) month period. No action taken pursuant to the provisions of this section shall in any way limit the City's right to pursue any other remedy at law or in equity against the property owner. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 114-1080 of the Code of the City of Richmond (2004), as amended, or any other applicable laws or regulations.

§ 5. That when the privileges granted by this ordinance terminate and the special use permit becomes null and void, use of the properties shall be governed thereafter by the zoning regulations prescribed for the district in which the properties are then situated.

§ 6. This ordinance shall be in force and effect upon adoption.



Application for SPECIAL USE PERMIT

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment

Project Name/Location

Project Name: 1900 Avondale Ave. Date: 10/14/2013

Property Address: 1900 Avondale Ave. Tax Map #: N017-0390/020

Fee: 1,900 Total area of affected site in acres: 1.920
(See page 3 for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: single family

Existing Use: single family

Is this property subject to any previous land use cases?

- Yes
- No

If Yes, please list the Ordinance Number:

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

multi-family

Applicant/Contact Person: Joan Phipps

Company: _____

Mailing Address: _____

City: _____ State: _____ Zip Code: _____

Telephone: () _____ Fax: () _____

Email: _____

Property Owner: Joan and Thomas Phipps

If Business Entity, name and title of authorized signee: _____

Mailing Address: 1907 Floyd Ave.

City: Richmond State: Va Zip Code: 23220

Telephone: (804) 254 2869 Fax: ()

Email: jfmphipps@gmail.com

Property Owner Signature: Joan Phipps Thomas Phipps

(The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.)

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

Applicant's Report

We are requesting that the property at 1900 Avondale Ave be changed from single family zoning to multi-use residential. This 3,918 square foot residence is in the process of being placed on the National and State Registers of Historic Properties because of its history as the Deep Run Hunt Club from 1896 to 1910. In the 1920's, an addition was added and since then it has been used as a duplex. (At the time the property was in Henrico.) The apartment contains a living room and bedroom that were part of the original house; the additional kitchen, bath and 2nd basement were added. The apartment was occupied until it was put on the market in January 2011.

Since we are working with the Historic Preservation office, we are not making any changes to the footprint of the building and are only applying for a Special Use Permit to make it possible to separate the utilities. In the future we may wish to add a garage with a small apartment in the back of the property. I am applying for the garage/apartment now because of the very high SUP fee. In January I applied for a permit to separate the utilities and make the existing apartment legal. Mr. Abbasi and Mr. Burton from Zoning looked at the property and said they recognized it had an apartment. They told me to apply for a permit, submit a drawing of the firewall, and it shouldn't be a problem. I did this only to find out that it was a problem and an SUP would be necessary.

The property is on 1.9 acres and borders the highway, Imperial Plaza Retirement Community, and seven houses in the Rosedale neighborhood. We have signatures from all of the residents whose homes touch our property supporting the use of the apartment, and letters of support from the Rosedale Civic Association and two City Council members: Charles Hilbert (councilman for Avondale) and Parker Agelesto (councilman for our residence on Floyd Ave.) We also have a letter from the real estate agent stating that the apartment was resided in when the property was listed.

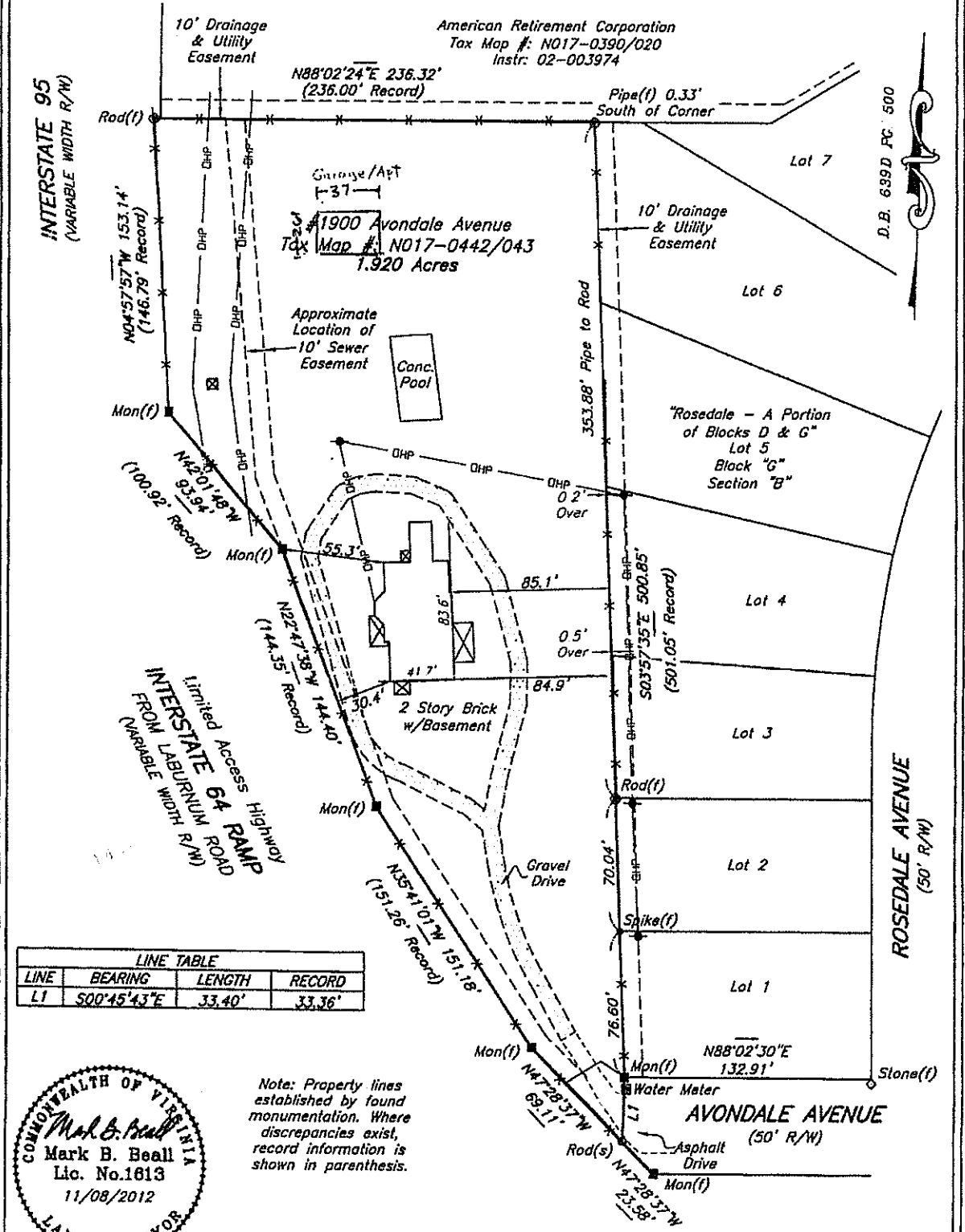
All six conditions that the city charter mentions will be easily met because both proposed apartments will only increase the population of the property by 2-4 people:

- The house will not be "detrimental to the safety, health, morals and general welfare of the community" (#1)
- Since it is on a dead-end street, borders Imperial Plaza, and the area is as large or larger than the seven bordering houses it could never "create congestion in streets, roads ... in the area" or "cause overcrowding of land and an undue concentration of population." (#2, #4)
- The apartments will not "create hazards from fire, panic or other dangers" because of the limited amount of new construction. All remodeling and restoration will use high quality materials and will comply with city and state safety regulations, and all residences will have their own entrances.
- The few people who will live there will not "adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewer disposal, transportation or other public requirements, conveniences and improvement; or interfere with adequate light and air." (#5, #6)

We are renovating the house as a home for our daughter and her family. The apartment is important to help offset the tremendous expenses of the restoration and the increase in taxes that will occur in the future. Although I have paid the \$1,900 SUP fee, it seems excessive in light of the circumstances. I was told by a representative from Zoning that since our project was small and would not need to be reviewed by all the offices listed, we could submit just one paper plan with digital copies, and not the 23 copies listed in the application. For this we are grateful but why is the fee not smaller?

Our immediate plans involve simply separating the utilities within the existing structure; future plans may include new construction of a single apartment. Thank you for your time, and please let us know if you need additional information.

This is to certify that this plat or map was prepared under my direction from an actual field survey without the benefit of a title report. Unless otherwise noted, to the best of my knowledge and belief all visible evidence of improvements, easements and apparent encroachments are shown hereon. Not all easements may be shown. Dwelling is in F.C.M.A. Defined flood zone X.



LINE TABLE			
LINE	BEARING	LENGTH	RECORD
L1	S00°45'43"E	33.40'	33.36'

COMMONWEALTH OF VIRGINIA
Mark B. Beall
 Mark B. Beall
 Lic. No. 1813
 11/08/2012
 LAND SURVEYOR

Note: Property lines established by found monumentation. Where discrepancies exist, record information is shown in parenthesis.

Improvements on
 1.920 Acres of land known as
#1900 AVONDALE AVENUE
 City of Richmond, Virginia

DATE: 11/08/2012
 SCALE: 1"=50'
 JOB NO.: C1220526
 PUR: JOAN PHIPPS
 CHK: MBB
 DWG: CMF

PLANNERS • ARCHITECTS • ENGINEERS • SURVEYORS
 18871 City View Drive Suite 200 • Midlothian, Virginia 23113 • Phone (804) 794-0871 • Fax (804) 794-2838

BALZER
 AND ASSOCIATES, INC.
BANCO
 REFLECTING TOMORROW
 www.balzer.cc

In November, my husband and I purchased 1900 Avondale Ave. and intend to restore the house for our daughter and her family and to rent the small apartment to help with the substantial expenses of the restoration.

In the 1800s it was the Rosedale Lodge and in 1896 Lewis Ginter purchased it to renovate for the Deep Run Hunt Club. It remained the Hunt Club until 1910 and is on the Historic Register. In the 1920s a 2nd kitchen and bathroom were added. Since that time it has had two living spaces and the previous owner rented out the small back unit.

Since you are our closest neighbors, we want you to know our intent to keep the small apartment and try to make it official by having it rezoned. In regards to this process, we would like to present input from households within 150 feet of our property. Therefore we would appreciate your signing this as an indication that you know of our plans and approve or disapprove of the apartment.

Sincere thanks for your consideration,

Joan Phipps
Joan Phipps

Name	Address	Phone #	Signature	Approval Yes or No
Joan Gammon	3908 Rosedale	804 239-5607	<i>Joan Gammon</i>	Yes
ARNOLD CHEATMAN	3910 ROSEDALE AVE.	(804) 264-9451	<i>Arnold Cheatman</i>	YES
JAMES JETEN	3901 ROSEDALE AVE	(804) 262-3868	<i>James Jeten</i>	YES
Daniel Arbo	3906 Rosedale East AVE	804 840 4914	<i>D. D. J. Arbo</i>	Yes
ALAN KILGORE	3900 ROSEDALE AVE	(757) 503-5365	<i>Alan Kilgore</i>	YES
ANDREW C SLAY	3902 ROSEDALE AVE 3902	804 350 3368	<i>Andrew C. Slay</i>	Yes

Comments:

Parker C. Agelasto

1900 Floyd Avenue | Richmond VA 23220 | pagelast@gmail.com | 804-355-3648

Mr. William Davidson, Zoning Administrator
City of Richmond
900 E. Broad Street, Room 511
Richmond, VA 23219
Dear Mr. Davidson:

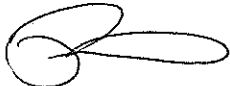
I am writing in support of the proposed renovations by Joan and Tom Phipps of the property at 1900 Avondale Avenue, Richmond VA 23227-3904. The current zoning for the parcel is R-4, which permits the use of the existing structure as a single-family detached dwelling. However, I am aware that the historic building was formerly used as the Deep Run Hunt Club & Country Club (c. 1856). The former owner was delinquent on real estate taxes owed to the City despite having a tenant in the property as recently as 2011. Likewise, the property has been blighted for several years as it sat on the market for sale. The property only sold in November 2012 after a 43% discount from the City's assessed value and 2011 listing price.

I recognize that R-4 zoning permits does not allow for a multi-family dwelling. At some time in the past, probably circa 1920s, an in-law suite was however divided from within the large 4,000 square foot structure. Many historic homes have such suites and I believe their use as such could be considered grandfathered in the R-4 zoning that was overlaid well after the existing condition at the property.

Likewise, the property is eligible for listing on the State and National Historic Registry. Under such application, there are restrictions as to the type of renovations that are permitted such as removal of walls, windows, stairs, etc. I am not familiar enough with the details of the property or the historically qualifying architectural elements. However, if the in-law suite is deemed significant there could be additional protection to preserving this conditional use of the property.

While not strictly permitted under the existing R-4 zoning, I am not confident that a special use permit should be required to allow for the renovation of this historic property to proceed with the conditional use of an in-law suite. Please recognize the historic nature of the property and the existing condition as a blighted property needing the rehabilitation that Joan and Tom Phipps have committed to provide. A special use permit may be onerous to any individual looking to restore 1900 Avondale Avenue. I encourage the Zoning Administrator to reconsider this issue.

Sincerely,



Parker C. Agelasto

cc: Tom and Joan Phipps (1907 Floyd Avenue, Richmond VA 23220)
Councilman Chris Hilbert

City Of Richmond, Virginia

CHRIS A. HILBERT
MEMBER OF CITY COUNCIL
THIRD DISTRICT REPRESENTATIVE



900 E. BROAD STREET, SUITE 200
RICHMOND, VIRGINIA 23219
(804) 646-7955
FAX No: (804) 646-7736
E-MAIL: HILBERCA@CI.RICHMOND.VA.US

May 15, 2013

Mr. and Mrs. Thomas Phipps
1907 Floyd Avenue
Richmond, VA 23220

Dear Mr. & Mrs. Phipps:

I am pleased to know that you have purchased and are in the process of renovating the Deer Run Hunt Club building for use as a personal residence for your daughter. This property is rich in history and will make a beautiful private residence.

I applaud your effort to restore an apartment that was a late addition to the building and utilize this apartment as a means to generate income to assist with expenses. I have been informed that the Rosedale Civic Association and the residents that live in the vicinity of the property offer no objection to the apartment.

As there are no objections, I offer my support as you endeavor to obtain and execute the appropriate permits and variances. If you have questions about any portion of this letter, please feel free to call me at 804.646.0700.

Sincerely,

Northside District 3
Richmond City Council

Councilman Chris A. Hilbert
804.644.0070
chris.hilbert@richmondgov.com

Parker C. Agelasto

1900 Floyd Avenue | Richmond VA 23220 | pagelast@gmail.com | 804-355-3648

Mr. William Davidson, Zoning Administrator
City of Richmond
900 E. Broad Street, Room 511
Richmond, VA 23219

Dear Mr. Davidson:

I am writing in support of the proposed renovations by Joan and Tom Phipps of the property at 1900 Avondale Avenue, Richmond VA 23227-3904. The current zoning for the parcel is R-4, which permits the use of the existing structure as a single-family detached dwelling. However, I am aware that the historic building was formerly used as the Deep Run Hunt Club & Country Club (c. 1856). The former owner was delinquent on real estate taxes owed to the City despite having a tenant in the property as recently as 2011. Likewise, the property has been blighted for several years as it sat on the market for sale. The property only sold in November 2012 after a 43% discount from the City's assessed value and 2011 listing price.

I recognize that R-4 zoning permits the principal use as a private country club though I do not believe it allows for a multi-family dwelling. At some time in the past, probably circa 1920s, an in-law suite was divided from within the large 4,000 square foot structure. Many historic homes have such suites and I believe their use as such could be considered grandfathered in the R-4 zoning that was overlaid well after the existing condition at the property.

Likewise, the property is eligible for listing on the State and National Historic Registry. Under such application, there are restrictions as to the type of renovations that are permitted such as removal of walls, windows, stairs, etc. I am not familiar enough with the details of the property or the historically qualifying architectural elements. However, if the in-law suite is deemed significant there could be additional protection to preserving this conditional use of the property.

While not strictly permitted under the existing R-4 zoning, I am not confident that a special use permit should be required to allow for the renovation of this historic property to proceed with the conditional use of an in-law suite. Please recognize the historic nature of the property and the existing condition as a blighted property needing the rehabilitation that Joan and Tom Phipps have committed to provide. A special use permit may be onerous to any individual looking to restore 1900 Avondale Avenue. I encourage the Zoning Administrator to reconsider this issue.

Sincerely,

Parker C. Agelasto

Cc: Tom and Joan Phipps (1907 Floyd Avenue, Richmond VA 23220)



Joan Phipps <jfmhipps@gmail.com>

Letter from Rosedale

Liz Turner <gwava4h@verizon.net>

Wed, May 22, 2013 at 11:57 AM

To: Joan Phipps <jfmhipps@gmail.com>

Cc: Chris Hilbert <Chris.Hilbert@vhda.com>, Lisa <lisa.townes@richmondgov.com>

Dear Mr. Hilbert,

I am writing to you as acting president of the Rosedale Civic Association, in support of the efforts by Mr. & Mrs. Phipps to renovate the old Deer Run Hunt Club House. They intend to restore it to its original grandeur and make it into a private residence for their family members who are moving to Richmond from the Southwest of the United States.

There is a section of the house that, at one time, was a small apartment, with a separate entrance to the house, its own kitchen, etc. The Phipps plan to bring that up to code first so their family can live there while the rest of the work is being done to the house. Once that is done, likely a few years from now, the family will move in to the main part of the house. They would like permission to rent the apartment in order to generate income that will cover their taxes.

As far as Rosedale is concerned, we have no issues with the apartment rental or any other work they are planning for their property. As a matter of fact, we are looking forward to this historic property being a showplace in the neighborhood. If not for the Phipps, this house would remain deserted and abandoned, and an eyesore from all the vandalism & theft that has taken place there up to now.

I am asking your office to support the Phipps & their family as they take the appropriate steps to make this plan come to fruition, for the good of our community, and for the historic past of Richmond.

Respectfully,

Mrs. Liz Turner, Acting President

Rosedale Civic Association



Joan Phipps
1900 Avondale Ave
Richmond, VA

Mrs. Phipps,

I understand you are attempting to re-establish an apartment on the property and wanted to advise you that when I took the listing on the residence in January of 2011 there was a tenant living in the downstairs wing which had a separate bathroom and kitchen.

I do not have the contact information of the individual but I am sure they were related to the previous owner and I believe they were paying around \$350 per month.

I hope this information helps.

Thanks!

Matt Ghazarian

Matt Ghazarian 

RE/MAX Commonwealth
7201 Glen Forest Dr. Ste 104
Richmond, VA 23226

Top Producing Realtor since 1990

CAAR #1 Realtor 1999

Class A Builder

804-477-0033=direct

804-612-2765=efax



Ebinger, Matthew J. - PDR

From: Liz Turner [gwava4h@verizon.net]
Sent: Monday, October 28, 2013 1:33 PM
To: Ebinger, Matthew J. - PDR
Subject: RE: 1900 Avondale Avenue - Special Use Permit Application

Thank you for sending this to me. I know having the apartment will help the family out tremendously as they continue to restore the property.

Liz Turner, acting president
Rosedale Civic Association

From: Ebinger, Matthew J. - PDR [<mailto:Matthew.Ebinger@Richmondgov.com>]
Sent: Monday, October 28, 2013 12:23 PM
To: gwava4h@verizon.net
Subject: 1900 Avondale Avenue - Special Use Permit Application

Mrs. Turner:

Please see the attached letter regarding a special use permit application for 1900 Avondale Ave.

Thank You,

Matthew J. Ebinger, AICP
Senior Planner | Land Use Administration
Secretary to the Public Art Commission
Department of Planning and Development Review
City of Richmond | 900 E Broad Street, Room 511
Richmond, VA 23219 | 804-646-6308

No virus found in this message.

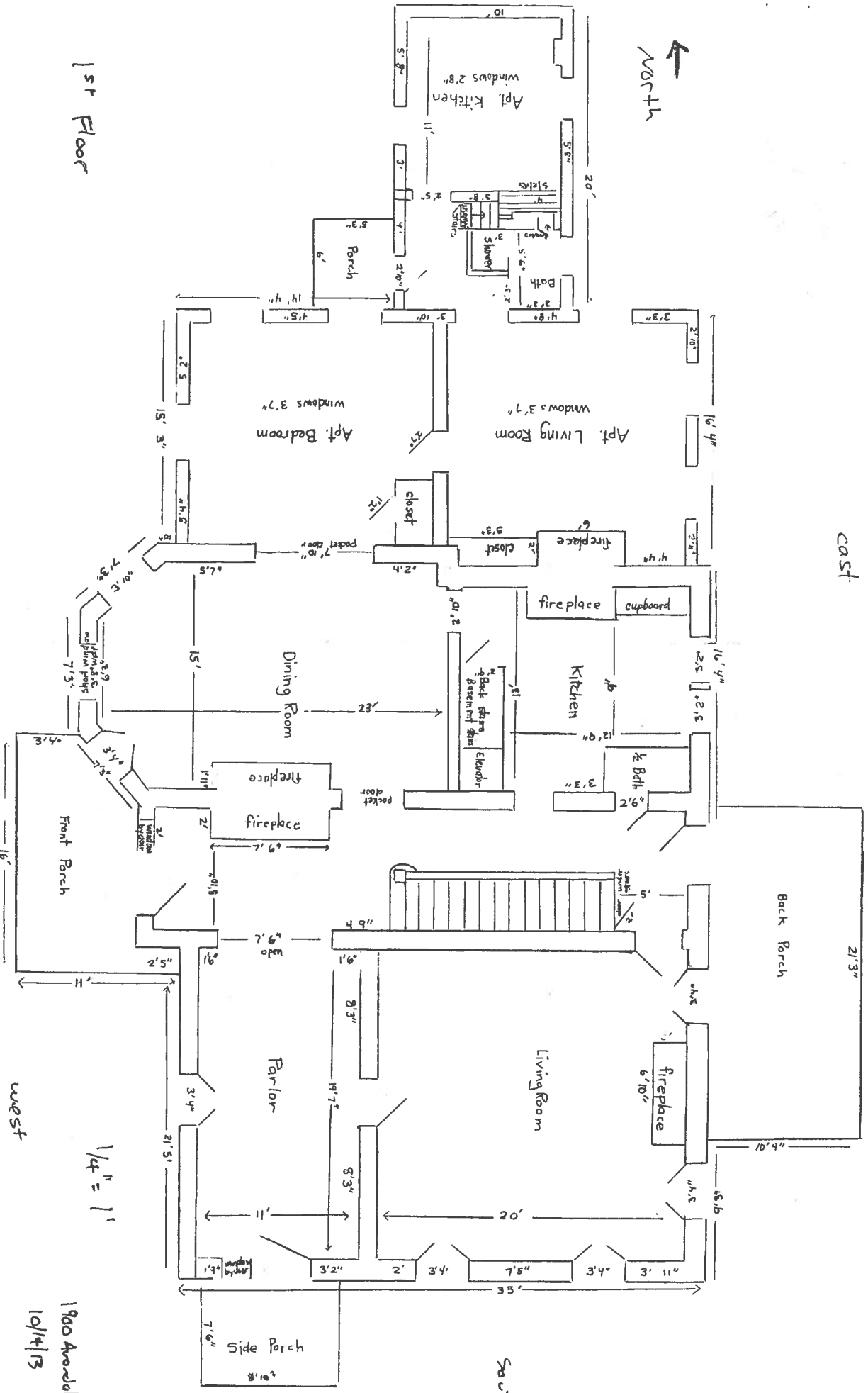
Checked by AVG - www.avg.com

Version: 10.0.1432 / Virus Database: 3222/6287 - Release Date: 10/28/13

1st Floor

North ↑

East



Sheet 1

10/14/13

1900 Anacosta

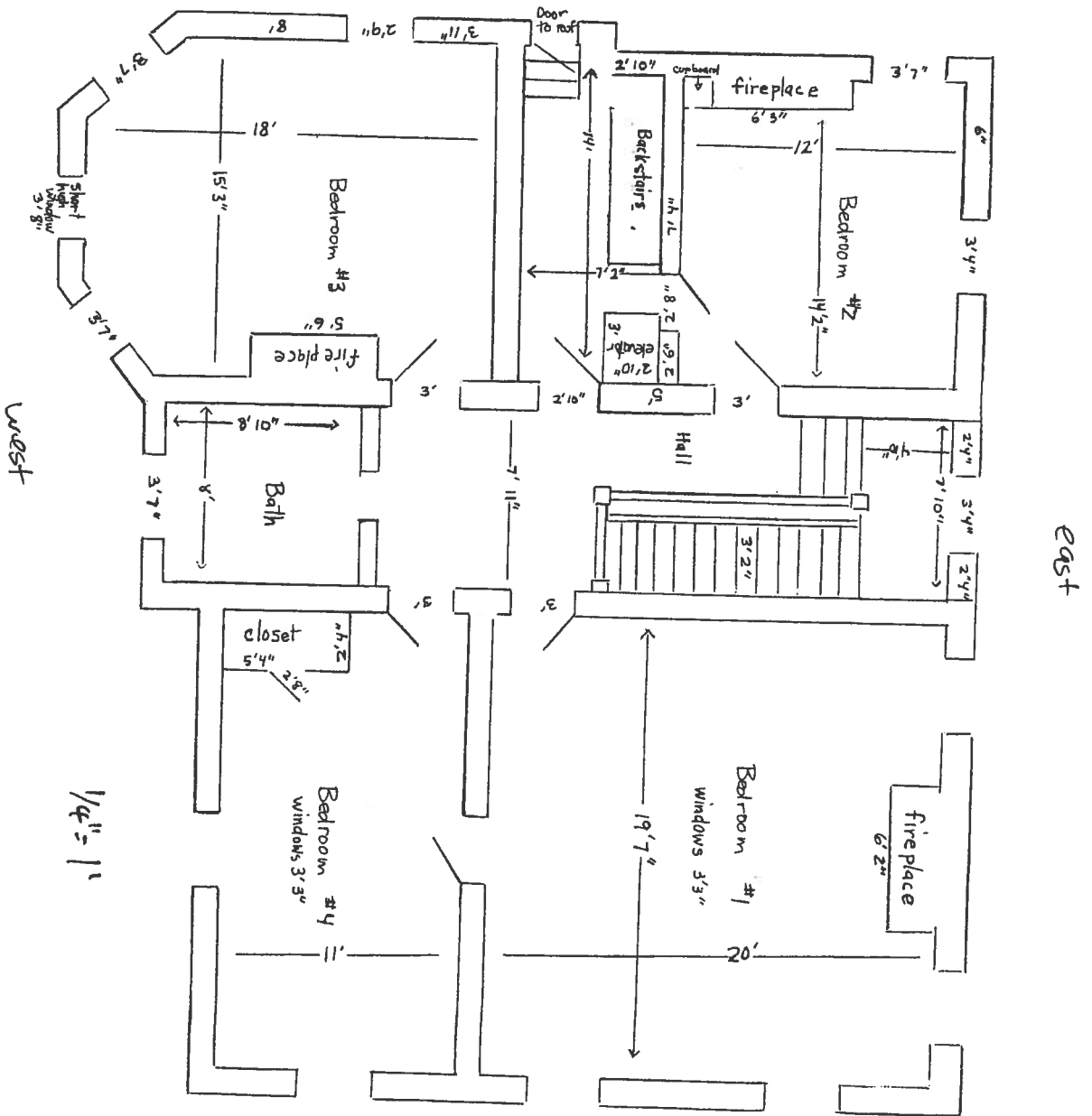
1/4" = 1'

South

West

2nd Floor

North



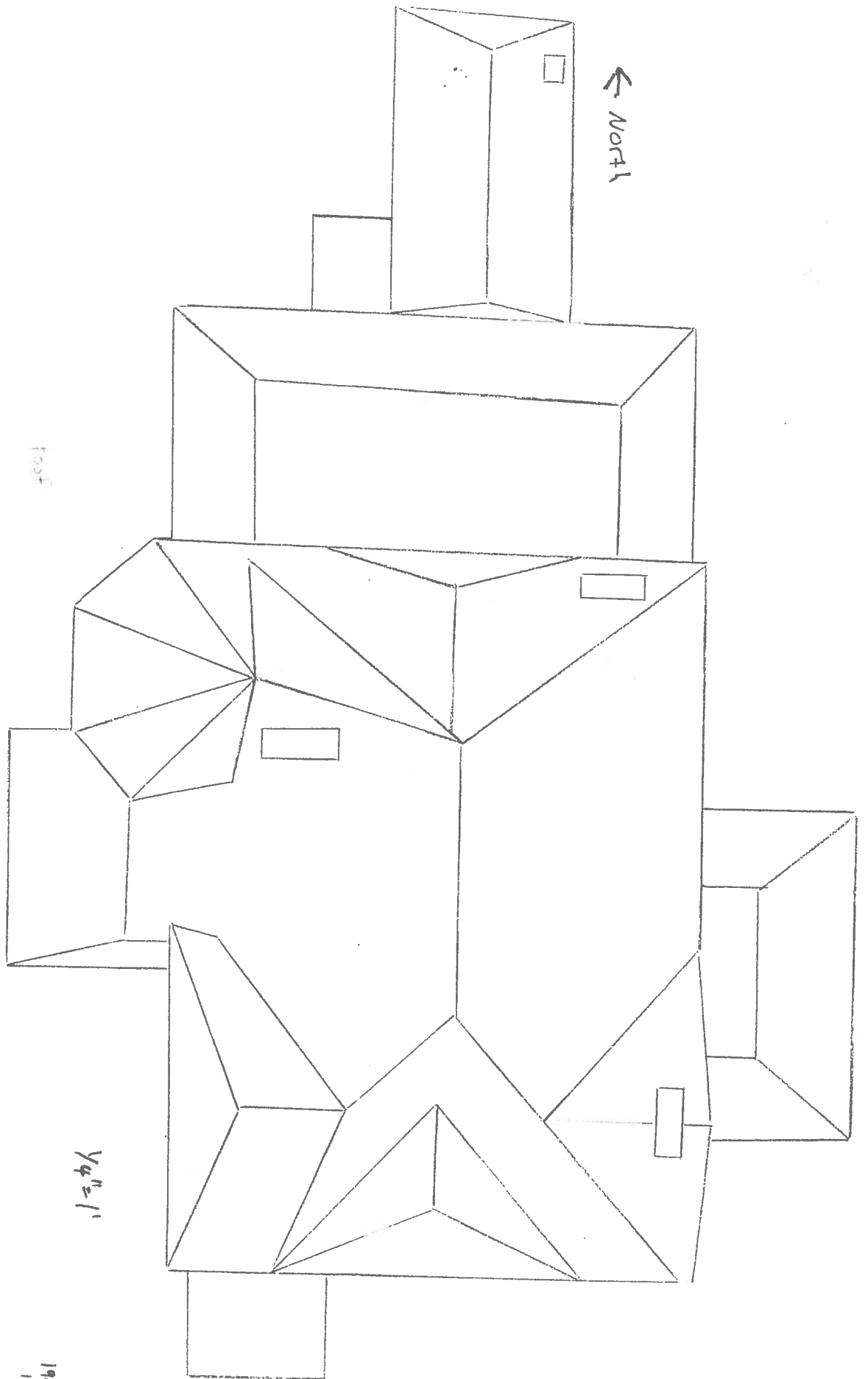
west

east

South

1/4" = 1'

1900 Arabelle
 12/14/13
 Sheet 2



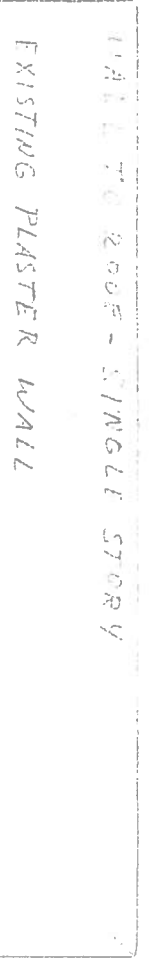
← NORTH

Roof

$1/4" = 1'$

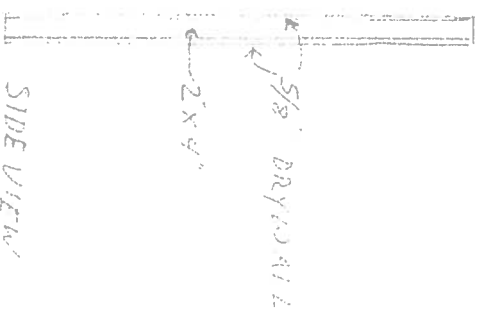
1900s Amundale
10/14/13
Sheet 3

APPROXIMATE 1900 ALCOHOL APP



BRICK WALL FOUNDATION BELOW FLOOR/WALL

ALL EDGES TO BE SEALED AND PLASTERED TO MATCH EXISTING WALL



1/2" x 2" SILL

1900 Alcohol

10/14/13

Sheet 4

THE MARBLEHEAD

NEW 3 CAR GARAGE

SEPTEMBER 2009

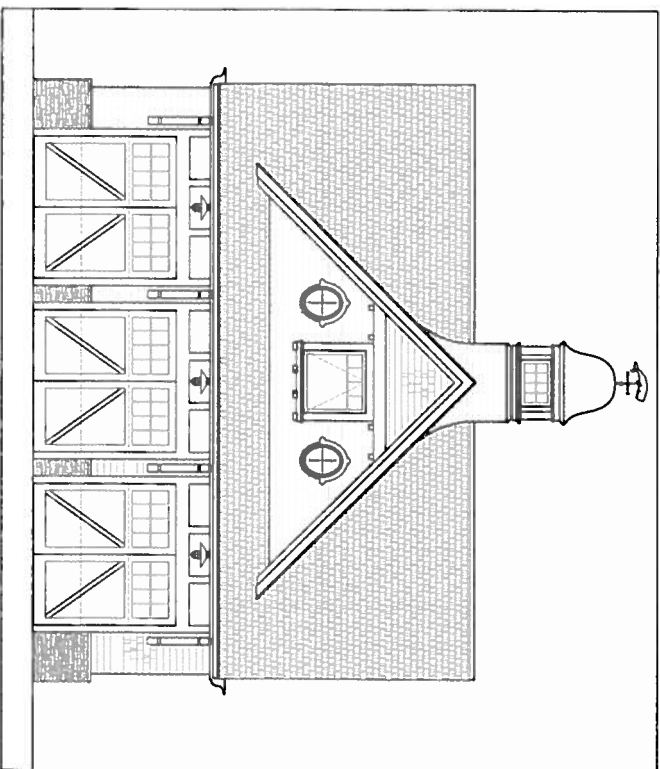
SCHEMATIC DESIGN PACKAGE

RONALD F. DIMAURO ARCHITECTS INC.

11 HOWLAND AVENUE • JAMESTOWN, RHODE ISLAND 02835 • 401 423 3400

RONALD F. DIMAURO ARCHITECTS HAS JOINED WITH THE NANTUCKET COTTAGE CO. TO BE ABLE TO SELL THESE PLANS TO YOU. THEY ARE INTENDED TO BE SCHEMATIC DESIGN DRAWINGS ONLY AND WE REQUIRE YOU AS NEW HOME OWNER OF THESE PLANS TO HIRE A LOCAL ARCHITECT WHO WITH THEIR OWN LOCAL STRUCTURAL ENGINEER, WILL FINISH THESE PLANS INTO CONSTRUCTION DOCUMENTS. THERE IS NO STRUCTURAL OR ELECTRICAL PLANS WITH THIS SET OF DRAWINGS. THE PLANS MUST BE CHECKED BY THE LOCAL ARCHITECT TO ENSURE THAT THEY MEET YOUR STATES LOCAL BUILDING CODES AND MAKE ANY NECESSARY CHANGES IF THEY DO NOT. ALSO, THESE PLANS WERE NOT DRAWN FOR A SPECIFIC SITE YOUR LOCAL ARCHITECT WILL BE REQUIRED TO UPDATE THE BUILDINGS FOUNDATION PLAN TO WORK WITH YOUR SITE. DO TO THE FACT THAT THIS IS A SCHEMATIC DESIGN PACKAGE, THERE ARE NO SPECIFICATIONS FOR QUALITY AND INTEGRITY OF MATERIALS, NO STRUCTURAL DRAWINGS, NO WATER PROOFING SPECIFICATIONS AND NO MASONRY SPECIFICATIONS. YOUR LOCAL ARCHITECT IS TO PROVIDE CONSTRUCTION DOCUMENTS AND BUILDING SPECIFICATIONS THAT COMPLY WITH LOCAL BUILDING CODES AND LOCAL ENVIRONMENTAL AND SITE CONDITIONS.

WELCOME TO YOUR NEW GARAGE - THE MARBLEHEAD



LIST OF DRAWINGS:

SHEET:	DESCRIPTION:
T - 1	TITLE & INDEX SHEET
A - 1	FOUNDATION PLAN AND DETAILS
A - 2	GARAGE FLOOR PLANS / SCHEDULE
A - 3	GARAGE FRONT AND RIGHT SIDE ELEVATIONS
A - 4	GARAGE REAR AND LEFT ELEVATIONS
A - 5	GARAGE CROSS SECTION AND DETAILS
A - 6	GARAGE LONGITUDINAL SECTION AND DETAIL



TABULATED AREAS:

- 1ST FLR AREA = 962 SQ. FT.
- 2ND FLR LOFT AREA = 845 SQ. FT.
- TOTAL AREA = 1807 SQ. FT.

CONTRACT:
 THESE DRAWINGS ARE THE PROPERTY OF RONALD F. DIMAURO ARCHITECTS INC. AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE, REPRODUCTION, OR DISTRIBUTION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF RONALD F. DIMAURO ARCHITECTS INC. IS STRICTLY PROHIBITED. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR DAMAGES RESULTING FROM THE USE OF THESE DRAWINGS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY COSTS INCURRED BY THE USER IN OBTAINING PERMITS OR APPROVALS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR INTERUPTIONS IN THE CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY INJURY OR DAMAGE TO PERSONS OR PROPERTY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY LEGAL ACTION OR PROSECUTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY OTHER MATTER. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY OTHER MATTER.

THE MARBLEHEAD
 TITLE & INDEX SHEET

TITLE
 DWG. CONTENTS

PROJECT NO. DATE
 SC-02 09/07
 DRAWN BY: CHECKED BY:
 T.A.L. R.F.D.
 REVISIONS:

SEAL:

RONALD F. DIMAURO
 ARCHITECTS INC.

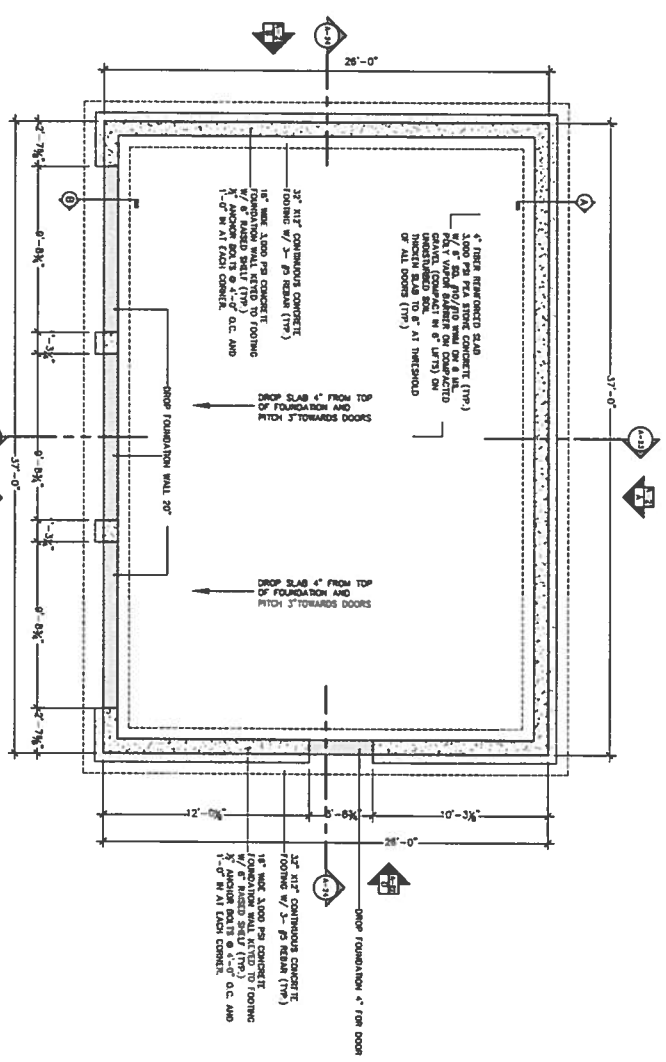
11 HOWLAND AVENUE
 JAMESTOWN, RHODE ISLAND 02835
 TEL: 401-423-3400 FAX: 401-423-3406
 EMAIL: INFO@RONALDDIMAUROARCHITECTS.COM

SHEET NO.

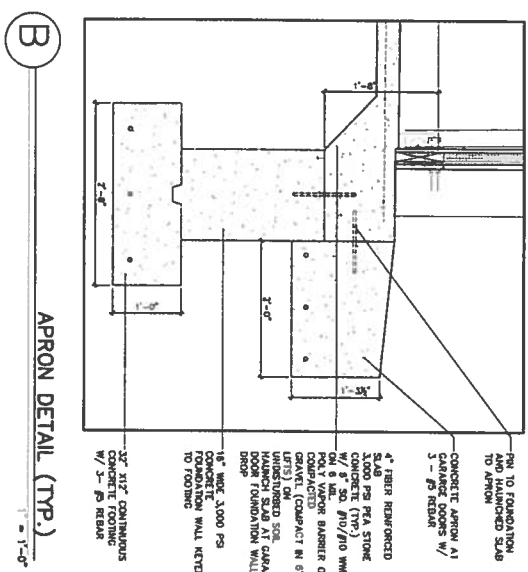
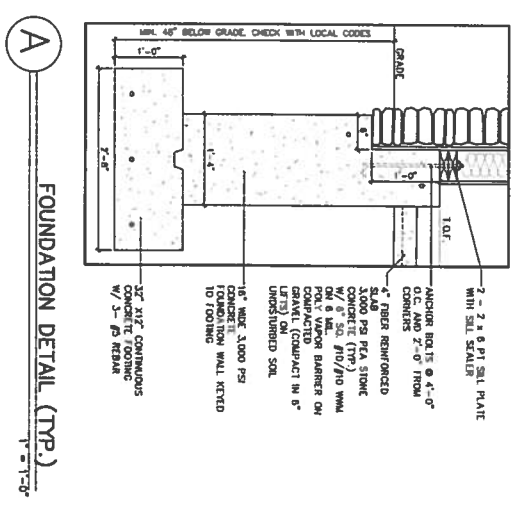
T-1

CONTRACT:
 THE MARBLEHEAD
 FOUNDATION PLAN AND DETAILS
 DWG. CONTENTS

NOTE: THESE SPECIFICATIONS WERE DEVELOPED IN ACCORDANCE WITH THE RHODE ISLAND STATE BUILDING CODE. THE LOCAL ARCHITECT IS TO CHECK YOUR LOCAL BUILDING CODES AND MAKE ANY CHANGES NECESSARY TO ENSURE COMPLIANCE WITH THOSE LOCAL CODES. RONALD F. DIMAURO ARCHITECTS AND THE NANTUCKET COTTAGE CO. ARE NOT LIABLE FOR THE BUILDING DOCUMENTED IN THESE DRAWINGS COMPLIANCE WITH LOCAL BUILDING CODES.



1 FOUNDATION PLAN
 1/4" = 1'-0"



A FOUNDATION DETAIL (TYP.)
 1" = 1'-0"

B APRON DETAIL (TYP.)
 1" = 1'-0"

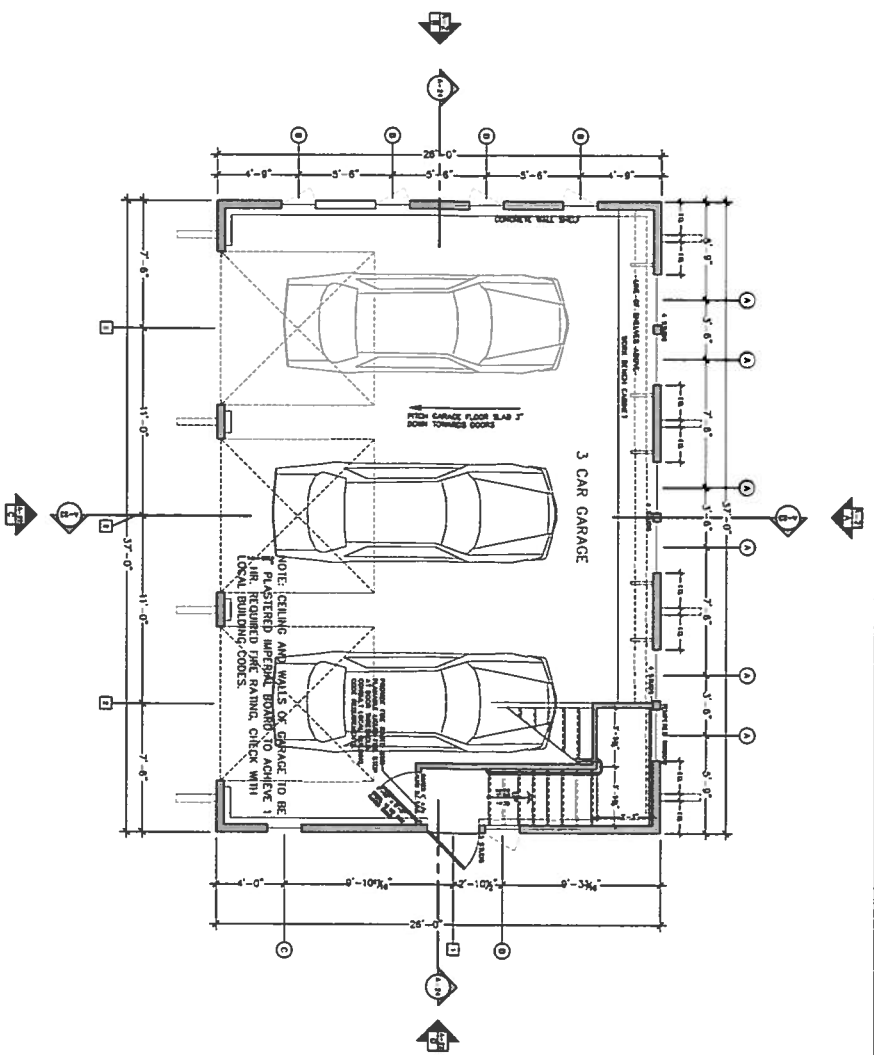
GENERAL NOTES FOR FOUNDATION WORK

- ALL LVL BEAMS, FLOOR & ROOF TRUSSES ARE TO BE SIZED & ENGINEERED BY SUPPLIER. WOOD JOISTS WERE SIZED BY USING TRUSS JOIST CHARTS. EQUAL MANUFACTURERS ARE PERMITTED.
- THE CONTRACTOR SHALL VERIFY ALL DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING.
- A GEOTECHNICAL ENGINEER SHALL REVIEW SOIL CONDITIONS PRIOR TO THE PLACEMENT OF ANY FOUNDATION FOOTINGS OR WALLS AND PROVIDE WRITTEN ACCEPTANCE OF THE SOIL CONDITIONS TO THE OWNER.
- ALL CONCRETE TO BE 3000 PSI AT THE END OF 28 DAYS AND CONFORM TO ASTM C1191 TEST METHOD.
- NO ADJUSTMENTS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
- NO CONCRETE SHALL BE PLACED ON FROZEN SOIL.
- FRESHLY PLACED CONCRETE SHALL BE PROTECTED FROM FREEZING FOR A PERIOD OF 48 HOURS.
- ALL CONSTRUCTION JOINTS SHALL BE FORMED BY A 2X4 BEVELED KEY OR TOWEL TO.
- PROVIDE 6 MIL POLY W/WRP BARRIER UNDER ALL INTERIOR SLABS WITH ALL DEETS LAPPED 6 INCHES AND 180°.
- ALL REINFORCING STEEL SHALL BE GRADE 60 AND CONFORM TO ASTM-A63.
- WELDING MESH (W/W/M) SHALL BE 6"x6" #10/#10 AND CONFORM TO ASTM-A97. LATEST EDITION. CARE SHOULD BE TAKEN TO PAUL ALL W/W/M TO BE PLACED UNDER THE SLAB.
- PROVIDE ANCHOR BOLTS AND INSTAL AS PER STATE OF RHODE ISLAND BUILDING CODE.
- FOUNDATION AND FROST WALL TO BE 10 INCHES THICK UNLESS OTHERWISE NOTED IN THESE DRAWINGS.
- PROVIDE CONTROL JOINTS AS REQUIRED.
- VERIFY SQUARE TUBS AND CUTT COCKINGS FOR ALL BUILDING UTILITIES (EX. WATER AND SEWER) WITH OWNER AND PROVIDE SLEEVES IN FOUNDATION WALLS OR SLAB AS REQUIRED.
- WATERPROOFING SHALL BE APPLIED TO ALL BASEMENT WALLS. WATERPROOFING SHALL START 2" BELOW FINISH GRADE AND CONTINUE TO BOTTOM. HYDROSEAL 75 MASONRY WATERPROOFING BY NORTHERN INDUSTRIES COMPANY ICE OR EQUIV. PROVIDE STEEL BRACKETS FOR BASEMENT CEILING WINDOWS. ALL THE ROOS SHOULD BE BROKEN OFF INSIDE AND OUT BY BENDING. FILL VOIDS WITH HYDRAULIC CEMENT.
- BEFORE ANY ORDERING, ALL ENGINEERED LUMBER IS TO BE SIZED BY A PROFESSIONAL ENGINEER.

NOTE: IF ROOF RETURN Voids ARE FOUND, THEY SHOULD BE BROKEN OFF INSIDE AND OUT BY BENDING AND SEALED W/ 70#

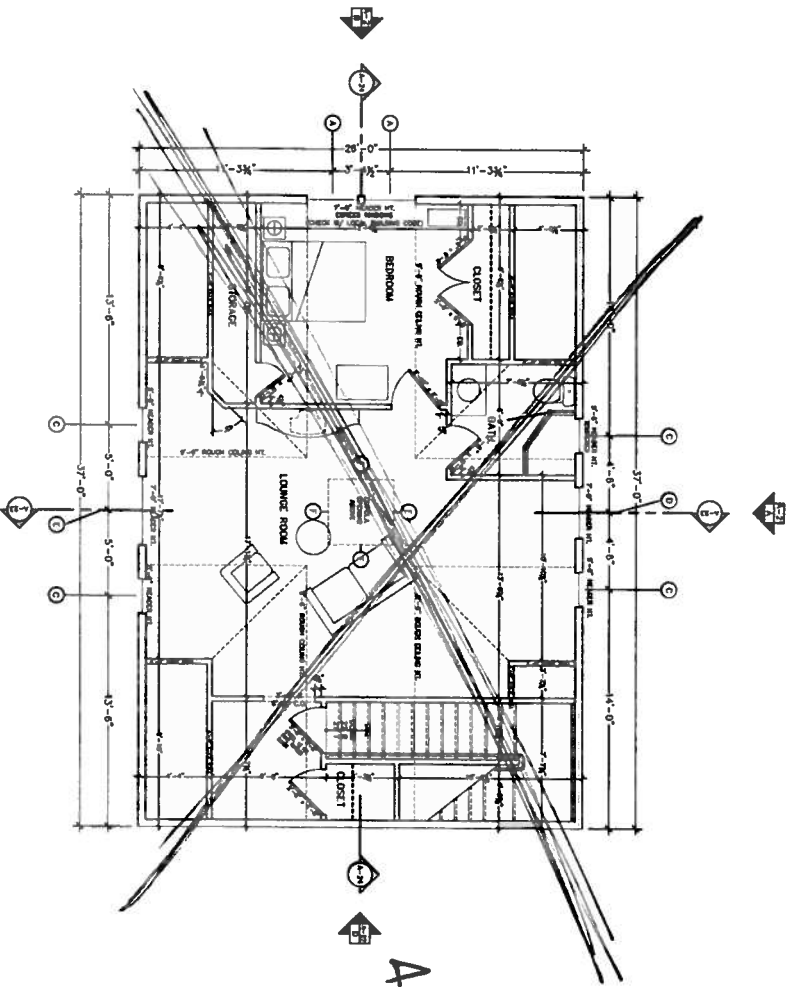
RONALD F. DIMAURO ARCHITECTS INC.
 11 HOWLAND AVENUE
 NANTUCKET, MA 02551
 TEL: 508-221-1111 FAX: 508-221-3406
 E-MAIL: INFO@RONALDDIMAUROARCHITECTS.COM

SHEET NO. A-1



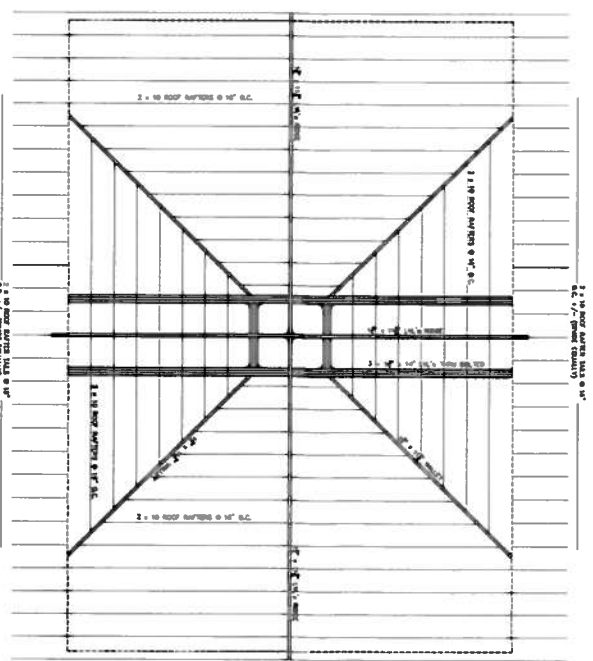
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

KEY	QTY.	UNIT	ROUGH OPENING	REMARKS	VISUAL
A	8	DHG3050	3'-0 1/2" x 5'-0 1/2"	1 - TEMPERED STAIR LANDING	
B	5	CM12020	2'-0 1/2" x 2'-0 1/2"	3 - LEFT HAND OPEN 2 - RIGHT HAND OPEN	
C	5	OVL2026	2'-0 1/2" x 2'-6 1/2"	1 - TEMPERED IN SHOWER	
D	1	AWN3040	3'-0 1/2" x 4'-0 1/2"		
E	1	AWN4040	4'-0 1/2" x 4'-0 1/2"		
F	4	AWN3020	3'-0 1/2" x 2'-0 1/2"	ALL UNITS FIXED	

WINDOW SCHEDULE

GENERAL NOTES:
WINDOW SCHEDULE IS NOT TO BE TAKEN AS AN ORDER FORM.
WINDOWS TO BE EXT. EXTENDED GLAZ / WOOD INTERIOR WINDOWS.
WHITE SCREENS AND HARDWARE. 7/8" SIMULATED DIVIDED LIGHTS. INTERIOR AND EXTERIOR HARDWARE TO BE 1/2" DIA. BRASS. SET ARCHITECT UNLESS OTHERWISE INDICATED.
NOTE: ALL WINDOWS AND FRENCH DOORS WERE CALLED OUT AS EXIST. WINDOW AND DOOR COMPANY: 1-800-453-3453
IF ANOTHER WINDOW COMPANY IS USED, ALL WINDOW OPENINGS ARE TO BE RESEARCHED AND RESIZED REPRESENTATIVE FROM THE WINDOW COMPANY BEING USED IN ORDER TO CHECK WITH COMPLIANCE OF LOCAL BUILDING CODES ON EXCESS AND WIND LOADS.

KEY	QTY.	UNIT	ROUGH OPENING	REMARKS	VISUAL
1	1	HORIZONTAL	38 1/2" x 82 1/2"		
2	3	DESIGNER	BASED ON MANUFACTURER FOR A 6'-0" x 8'-0" DOOR		

DOOR SCHEDULE

INTERIOR DOORS:
ALL INTERIOR DOORS ARE TO BE SOLID TRIPLE LAY UP TYPE AT-10C UNLESS OTHERWISE SPECIFIED. HARDWARE TO BE BRASS. SET ARCHITECT UNLESS OTHERWISE INDICATED.
GENERAL NOTES:
DOOR SCHEDULE IS NOT TO BE TAKEN AS AN ORDER FORM.
DOORS TO BE EXTENDED GLAZ / WOOD INTERIOR DOORS.
WHITE SCREENS AND HARDWARE. 7/8" SIMULATED DIVIDED LIGHTS. INTERIOR AND EXTERIOR HARDWARE TO BE 1/2" DIA. BRASS. SET ARCHITECT UNLESS OTHERWISE INDICATED.
ALL FRENCH SLIDING DOORS TO HAVE STANDARD FRENCH SLIDING HARDWARE.
ALL DOORS TO HAVE 3" FROM LOCKING SYSTEM UNLESS OTHERWISE INDICATED.

CONTRACTOR:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND OTHER AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND OTHER AGENCIES.

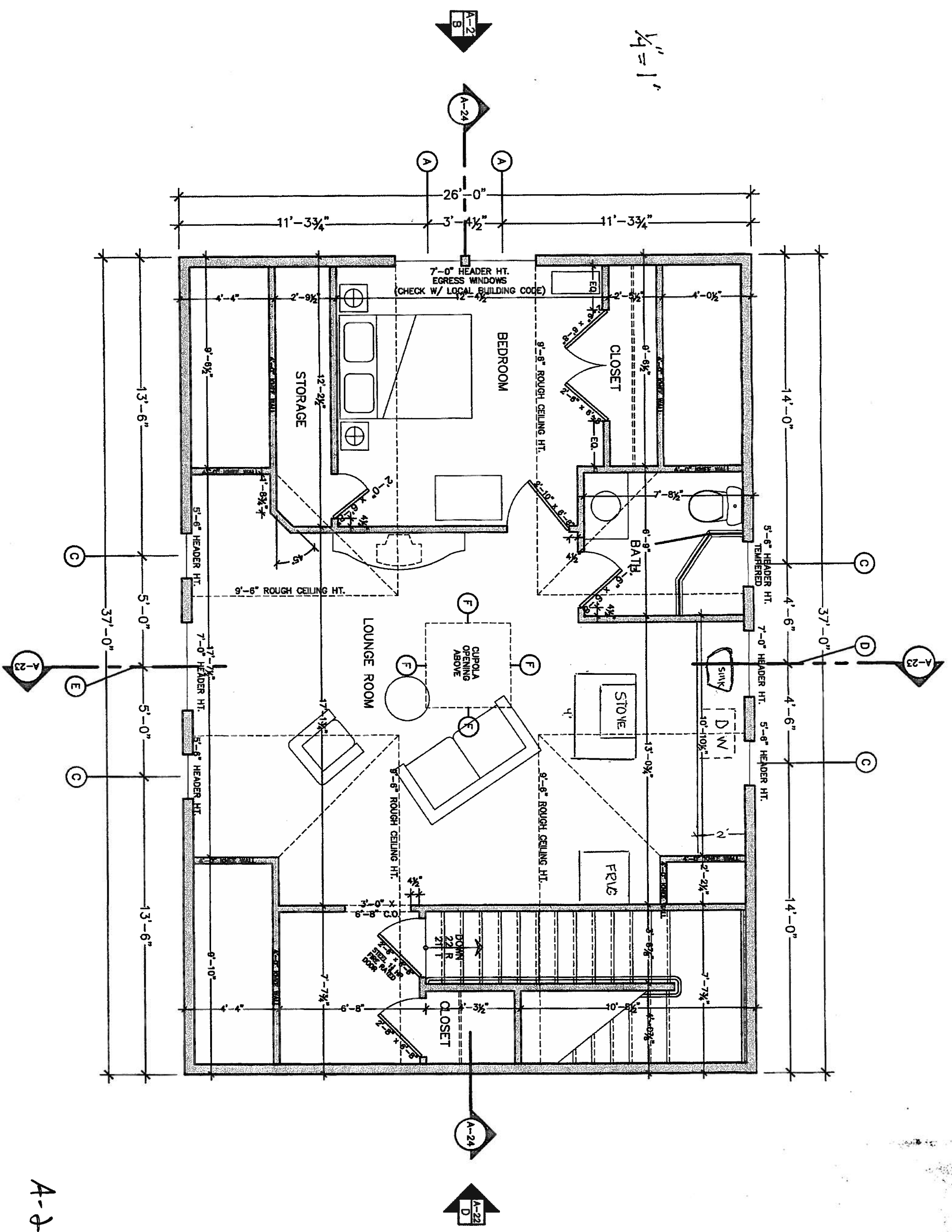
THE MARBLEHEAD
GARAGE FLOOR PLANS/SCHEDULE

DATE: 04/04/07
SCALE: 1/4" = 1'-0"
PROJECT: THE MARBLEHEAD
CLIENT: R.F. DIMAURO ARCHITECTS INC.

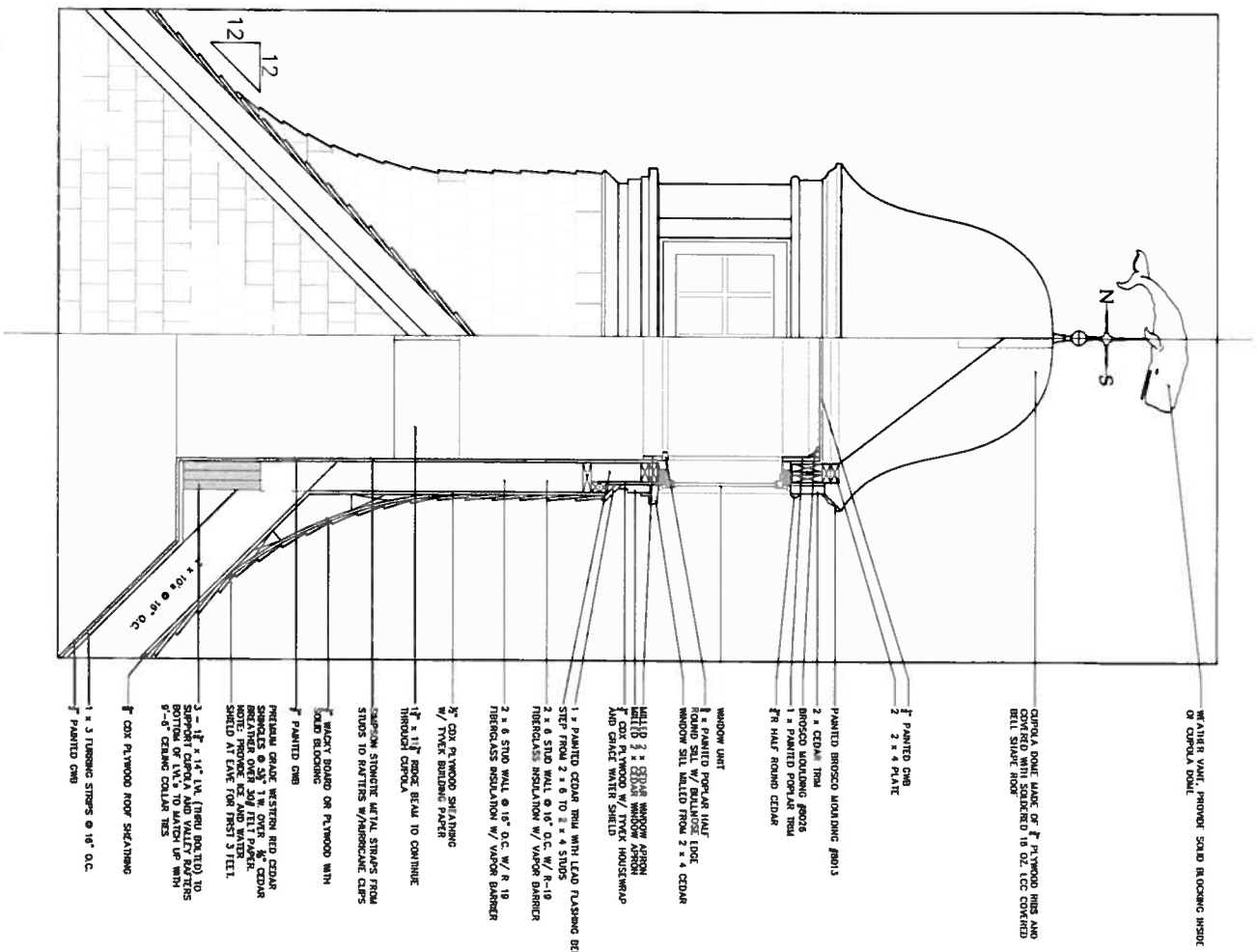
RONALD F. DIMAURO ARCHITECTS INC.
81 HOWLAND AVENUE
WESTON, MASSACHUSETTS 02458
TEL: 408-423-3400 FAX: 408-423-3406
EMAIL: INFO@RONALDDIMAUROARCHITECTS.COM

A-2

1/4" = 1'

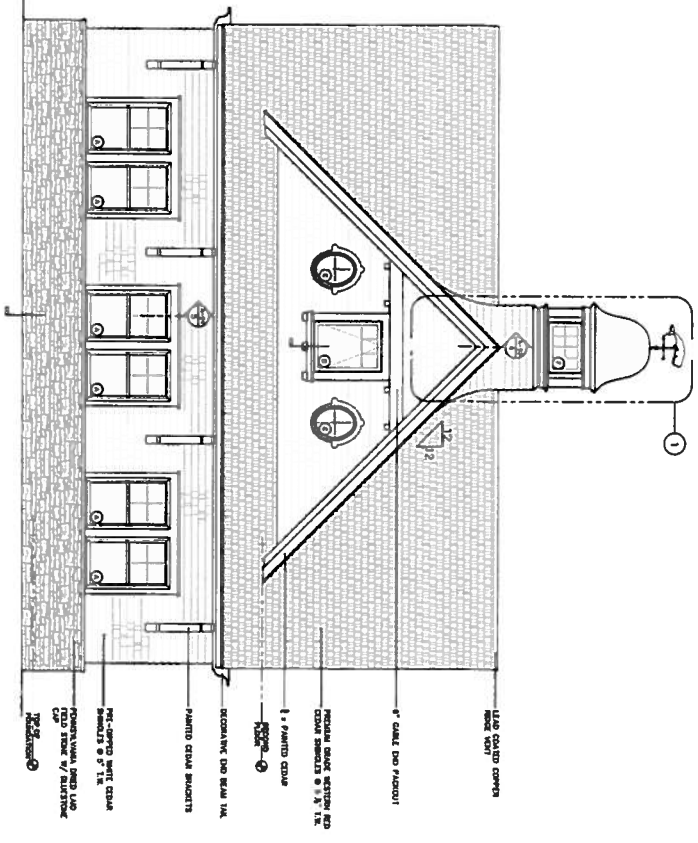


A-2 Inset
Shawing Kitchen



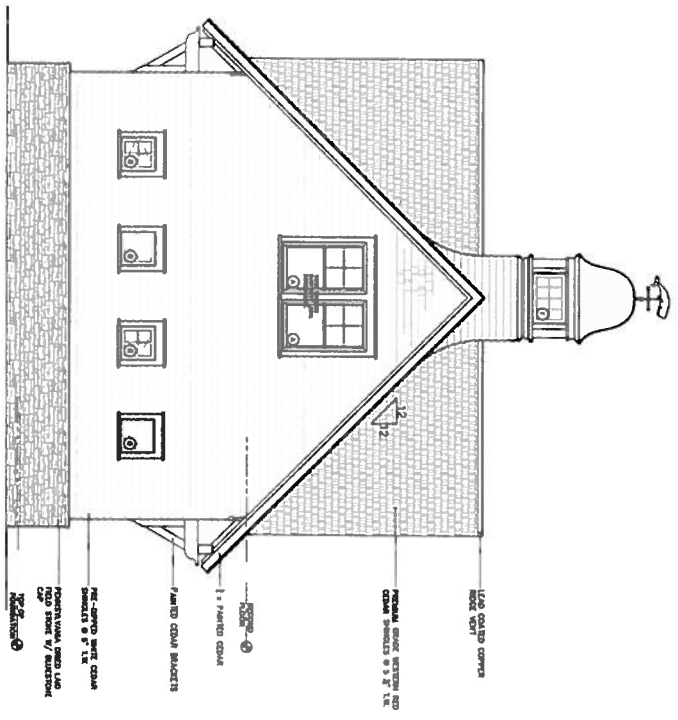
CUPOLA DETAIL

SCALE: 1" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

COPYRIGHT
© 2007 RONALD F. DIMAURO ARCHITECTS INC. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF RONALD F. DIMAURO ARCHITECTS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RONALD F. DIMAURO ARCHITECTS INC. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION IS STRICTLY PROHIBITED. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF RONALD F. DIMAURO ARCHITECTS INC.

THE MARBLEHEAD
GARAGE FRONT AND RIGHT SIDE ELEVATIONS

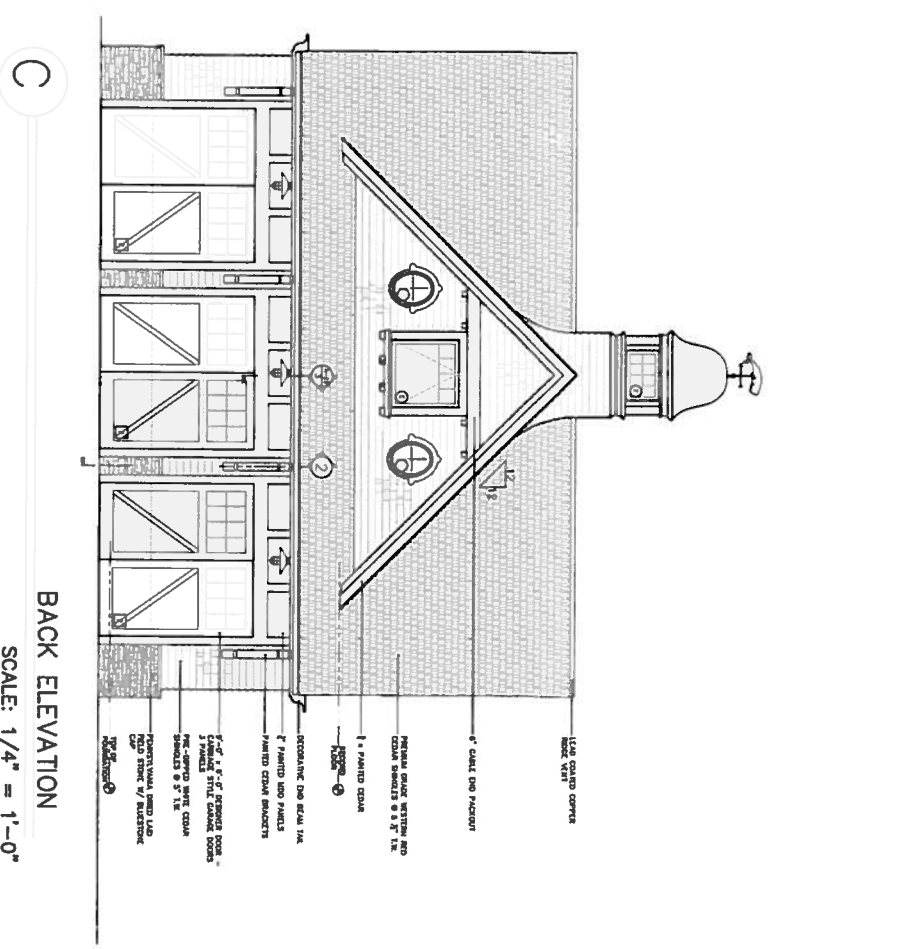
TITLE	DWG. CONTENTS
PROJECT NO.	04097
DATE	04/07
SCALE	1/4" = 1'-0"
DRAWN BY	CKD/BT
CHECKED BY	RJD
DATE	04/07

SEAL

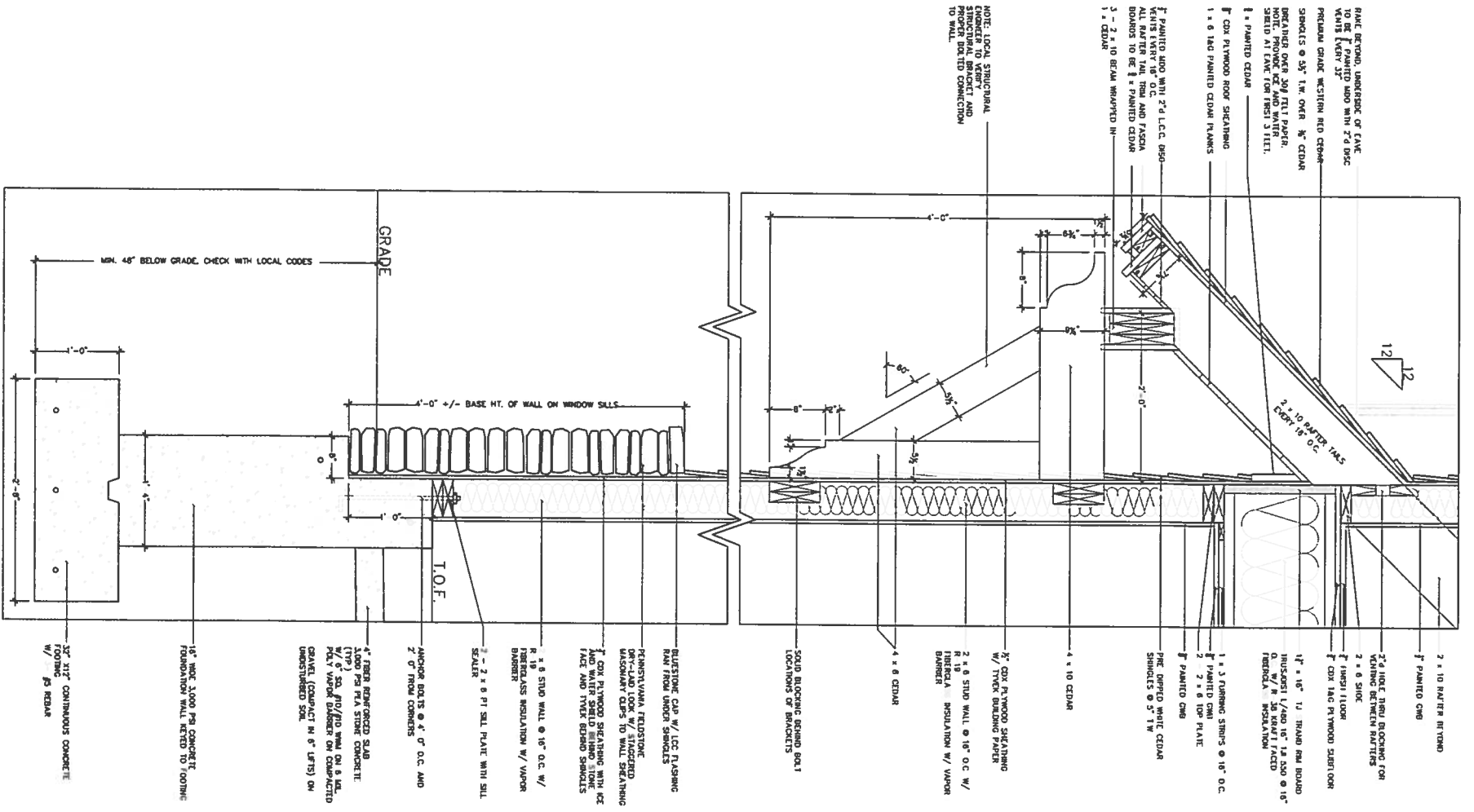
RONALD F. DIMAURO ARCHITECTS INC.
11 HOWLAND AVENUE
MAINESTOWN, RHODE ISLAND 02839
PH: 401-423-3400 FAX: 401-423-3406
EMAIL: INFO@RONALDARCHITECTS.COM

SHEET NO. A-3

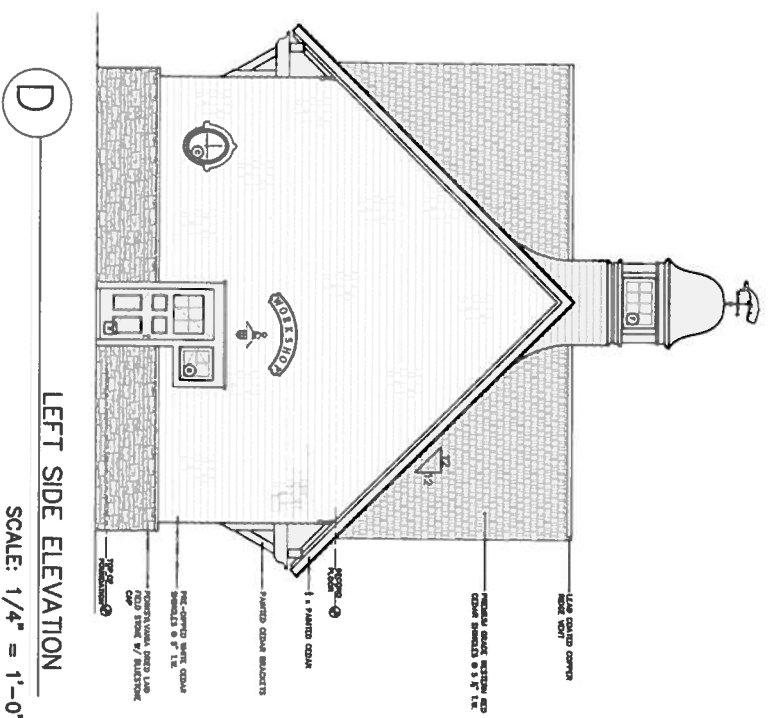
CONTRACT:
 PROJECT: THE MARBLEHEAD
 ARCHITECT: RONALD F. DIMAURO ARCHITECTS INC.
 DATE: 04/07
 SCALE: 1/4" = 1'-0"



BACK ELEVATION
 SCALE: 1/4" = 1'-0"



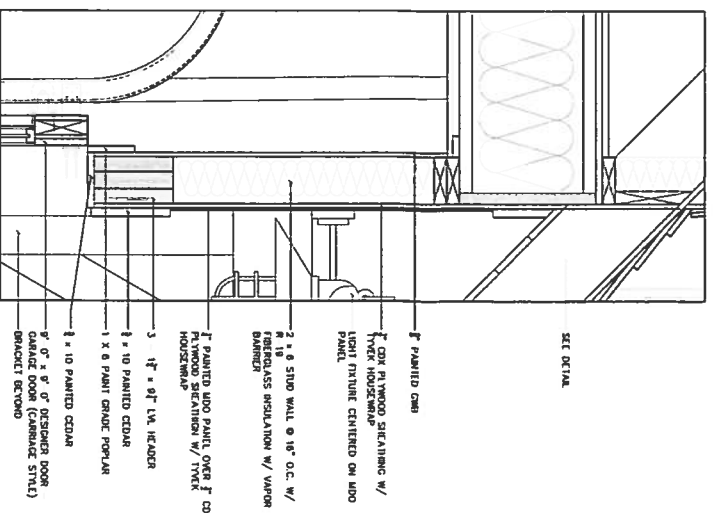
BRACKETS AND STONE WALL DETAIL
 SCALE: 1 1/2" = 1'-0"



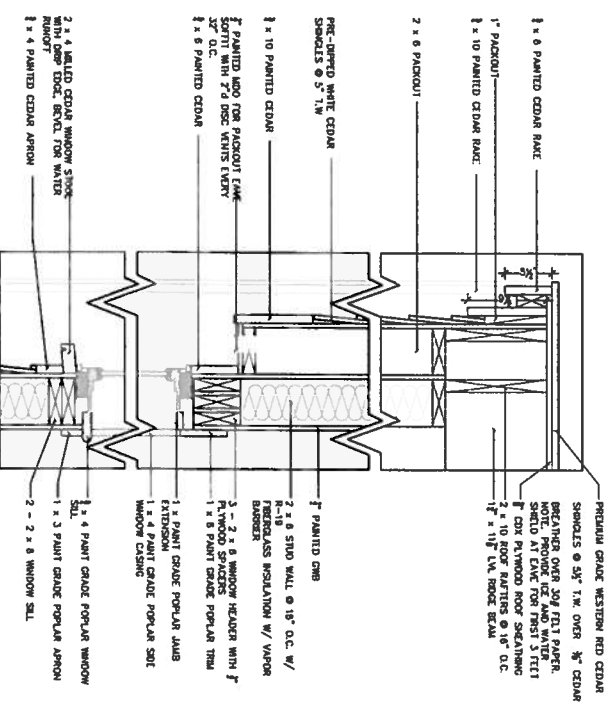
LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

RONALD F. DIMAURO ARCHITECTS INC.
 8 HOWLAND AVENUE
 MARBLEHEAD, MASSACHUSETTS 02235
 PH: 408-423-3400 FAX: 408-423-3406
 EMAIL: INFO@RONALDDIMAUROARCHITECTS.COM

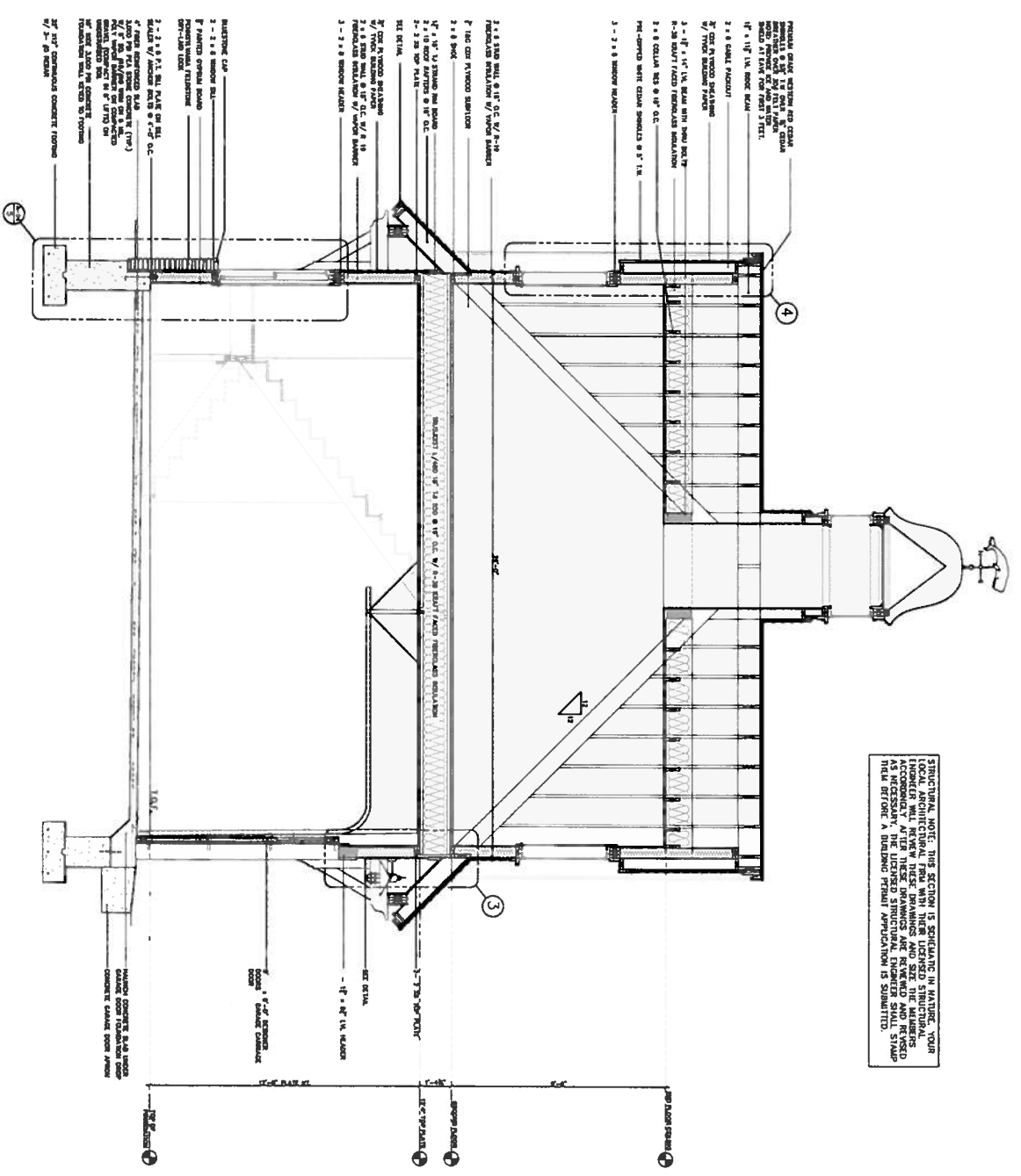
TITLE	THE MARBLEHEAD
PROJECT NO.	040407
DATE	04/07
SCALE	1/4" = 1'-0"
DRAWN BY	CHUCK BR.
CHECKED BY	RDJ
REVISIONS	



3 GARAGE DOOR HEAD DETAIL
SCALE: 1 1/2" = 1'-0"



4 GABLE END PACKOUT
SCALE: 1 1/2" = 1'-0"



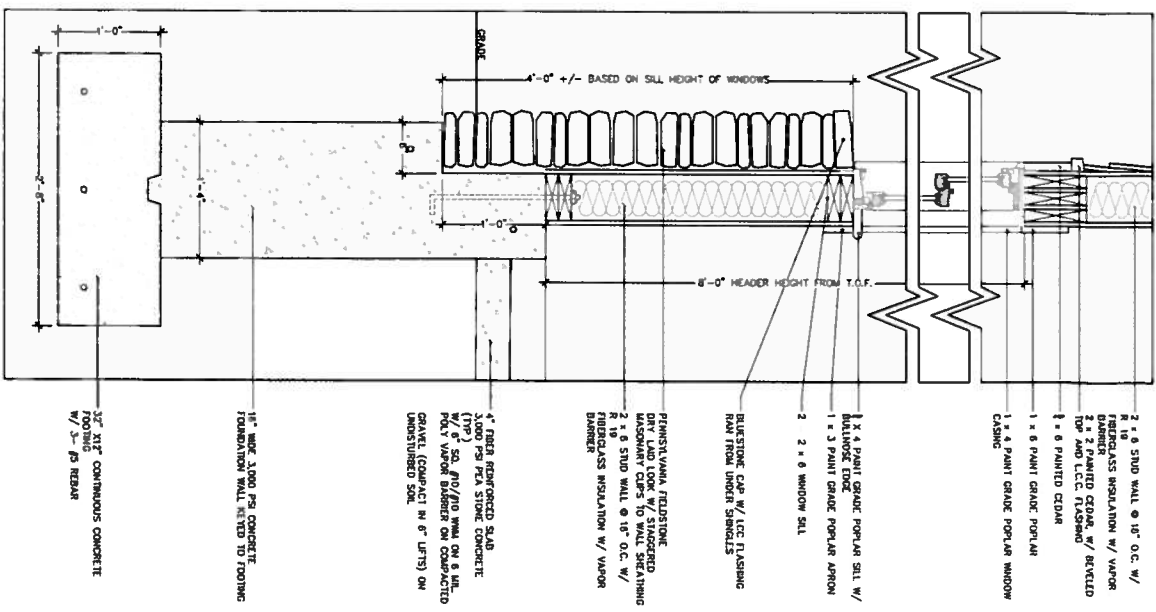
A CROSS SECTION
SCALE: 3/8" = 1'-0"

STRUCTURAL NOTE: THIS SECTION IS SCHEDULED IN NATURE. YOUR LOCAL ARCHITECTURAL FIRM WITH THEIR LICENSED STRUCTURAL ENGINEER MUST REVIEW AND STAMP AND SIGN THESE DRAWINGS AND RETURNED TO THE ARCHITECT. AFTER THESE DRAWINGS ARE REVIEWED AND RETURNED TO THE ARCHITECT, THE LICENSED STRUCTURAL ENGINEER SHALL STAMP AND SIGN THE DRAWING. THE ARCHITECT'S PROFESSIONAL SEAL SHALL BE PLACED ON THE DRAWING.

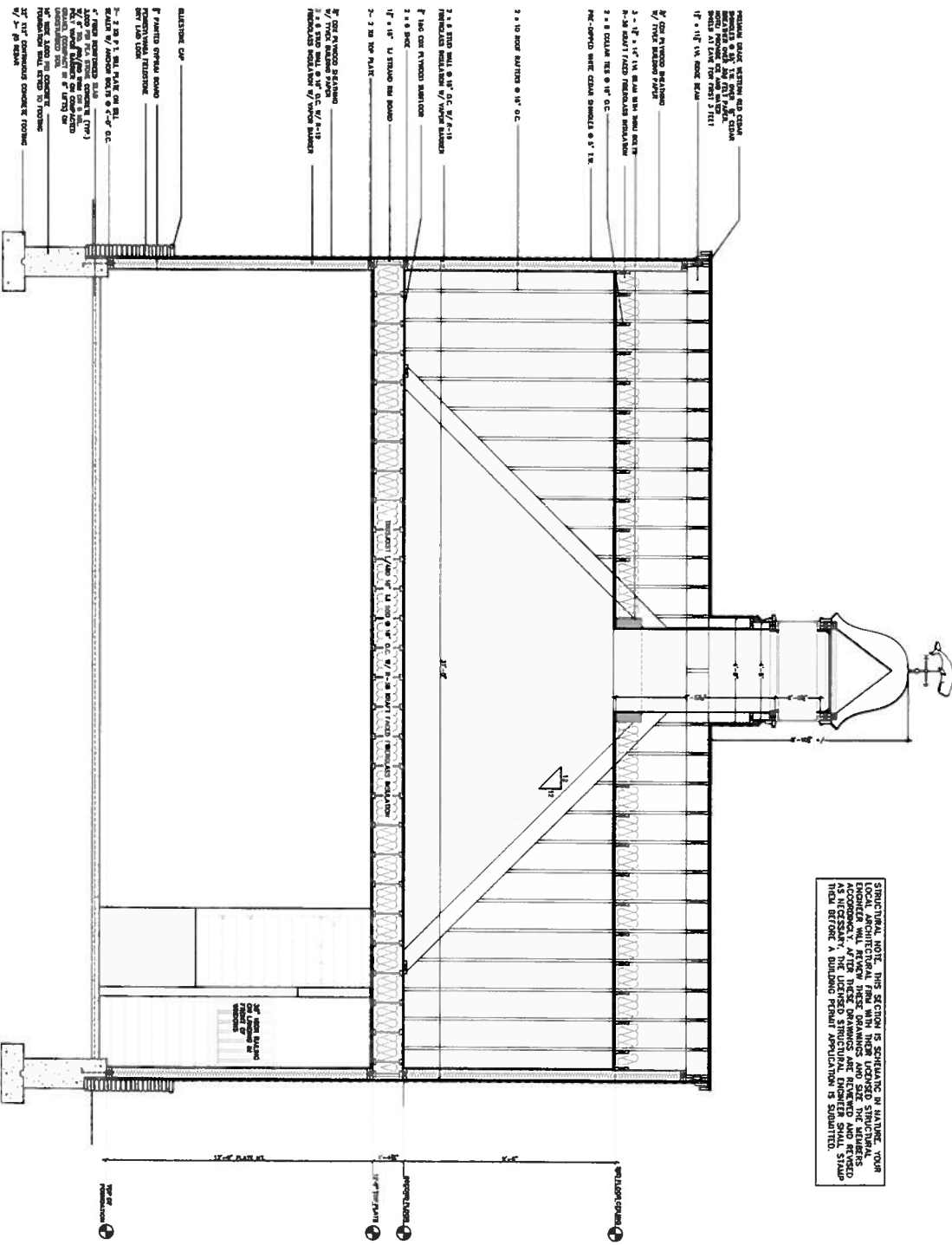
THE MARBLEHEAD

GARAGE CROSS SECTION AND DETAILS

SHEET NO. A-5	RONALD F. DIMAURO ARCHITECTS INC. 8 HIGHLAND AVENUE JARGISTOWN, MIDDLE ISLAND 02335 P.O. BOX 423 3400 FAX: 603 423 3400 EMAIL: INFO@RONALDDIMAUROARCHITECTS.COM	SEAL:	EXTENSIONS:	TITLE:	DWG. CON.
		DATE:	DRAWN BY:	CHECK BY:	DATE:



5 FRONT WINDOW / STONE WALL DETAIL
 SCALE: 1 1/2" = 1'-0"



B LONGITUDINAL SECTION
 SCALE: 3/8" = 1'-0"



City of Richmond, Virginia
Department of Planning and Development Review
City Hall, Richmond, Virginia 23219
804.646.6304 (f) 804.646.5789 www.richmondgov.com

To: Planning Commission
From: Land Use Administration
Date: February 3, 2014
RE: **Agenda Item #4, Ord. No. 2013-245:** To authorize the special use of a portion of the property known as 3805 Cutshaw Avenue for the purpose of authorizing a multifamily dwelling with a total of up to sixty-six (66) dwelling units, upon certain terms and conditions. *Council District 1*

Summary dates:

Council paper introduction:	November 25, 2013
Planning Commission public hearing:	January 6, 2014 (deferred)
	February 3, 2014
City Council public hearing:	February 10, 2014

Summary facts:

I. PETITIONER

Christopher Harrison - The C.A. Harrison Companies, LLC
5301 Westbard Circle, Suite 147
Bethesda, MD 20816

II. LOCATION

3805 Cutshaw Avenue

III. PURPOSE

To authorize the special use of a portion of the property known as 3805 Cutshaw Avenue for the purpose of authorizing a multifamily dwelling with a total of up to sixty-six (66) dwelling units, upon certain terms and conditions.

IV. SUMMARY & RECOMMENDATION

The subject property is located in an RO-2 Residential-Office zoning district. The applicant is proposing the adaptive reuse of a vacant office building into a multifamily residential building with a residential density and useable open space ratio that is not permitted in the RO-2 district.

The special use permit would allow multifamily use with up to 66 total units. This five-story building was constructed in 1964 with a height of approximately 70 feet and predates the RO-2 zoning of the property and the district's 35 feet maximum height limitation. Under current RO-2 zoning, multifamily uses are permitted at a density of approximately 35 units per acre. The proposal would provide a residential density of approximately 75 units per acre taking into account the proposed division of the property into Parcel A and Parcel B, as shown on the attached plat and plans. Also, under normal zoning requirements, 40% of the parcel area must be devoted to usable open space.

Although the proposed density is more than twice that normally permitted in the RO-2 district, the building's existing floor area and height are mitigating factors. Given the overall

floor area of the building, staff finds that the number of units proposed is a reasonable adaptive reuse of the former office building as a multifamily development. The proposed 66 dwelling units contain an average floor area of approximately 727 square feet. These proposed unit sizes are comparable to those of units in multifamily buildings that have been developed recently in the City.

In regards to the 40% usable open space requirement, staff recognizes the constraints to meeting this requirement based on the subject property's current improvements. It should be noted that the applicant has provided terraces on the first floor and a rooftop terrace for use as open space, as well as interior common amenities such as a fitness studio and rooftop sunroom. The parking area would also be reconfigured to accommodate screening and landscaped islands.

Staff finds that the proposed multifamily use, which is a permitted use in the underlying zoning district, would contribute to the intent of the Transitional Office land use designation by serving as a separation between adjacent residential uses and nearby higher intensity uses.

Staff further finds that with the conditions of the ordinance, the safeguards contained within the City Charter, relative to the granting of special use permits, are met. Therefore, staff recommends approval of the special use permit request.

Staff Contact: Matthew Ebinger, Senior Planner, 646-6308

V. FINDINGS OF FACT

a. Proposed Use of the Property

Adaptive reuse of a vacant office building into a multifamily residential building containing 66 dwelling units, being served by a landscaped parking area containing 66 on-site parking spaces.

The applicant intends to divide the property into Parcel A (0.9 acres) and Parcel B (0.4). Development of Parcel A will be guided by the proposed special use permit; development of Parcel B will take place separately from the proposed special use permit.

b. Site Description

The subject property is a 1.283 acre parcel located in the City's Sauer's Gardens neighborhood at the corner of Cutshaw Avenue, North Hamilton Street, and Kent Road. The property consists of a 5-story vacant office building and unscreened surface parking.

c. Master Plan

The City of Richmond's Master Plan designates the subject property for Transitional Office land use. Primary uses are low to medium intensity professional, business and administrative offices, and medical and dental clinics that are compatible with adjacent residential uses and serve as separation between residential areas and nearby commercial or other higher intensity land uses or features (p. 134). The Plan recommends RO-2 Residential Office zoning

for these areas, which, as stated above, is the underlying zoning of the subject property.

d. Zoning and Ordinance Conditions

The special use permit ordinance would assure that the building contains amenity space, including a rooftop terrace, and no more than 66 dwelling units, served by no fewer than 66 on-site parking spaces.

The parking area is required to be screened, landscaped and illuminated with lighting fixtures no higher than 20 feet.

Street trees are to be provided along Kent Road and repairs needed to maintain the functionality of the 20-foot public alley serving as a drive aisle for the parking area shall be performed.

Subdivision of the property shall take place prior to submission of building permits.

e. Surrounding Area

The subject property is part of a larger RO-2 district and is across Kent Road from R-53 and R-5 districts. A mix of commercial, institutional, office, and single- and multifamily land uses are present in the area.

f. Neighborhood Participation

Staff has received a development proposal response form from the Jefferson Terrace Civic Association indicating the Association does not support this proposal. A letter of general support has been received from a local resident.

VI. ATTACHMENTS

- a. Vicinity Map**
- b. Images**
- c. Draft Ordinance**
- d. Application Form**
- e. Applicant's Report**
- f. Development Proposal Response Form & Letter of Support**
- g. Plans & Survey**



**City of Richmond
Department of Planning
& Development Review**

Special Use Permit

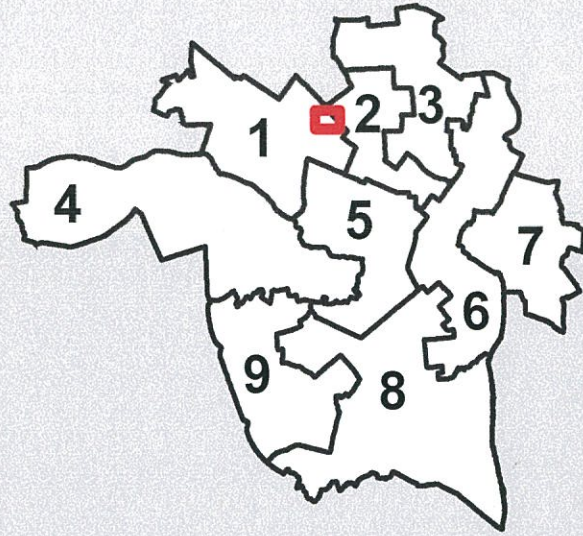
LOCATION: 3805 Cutshaw Avenue

COUNCIL DISTRICT: 1

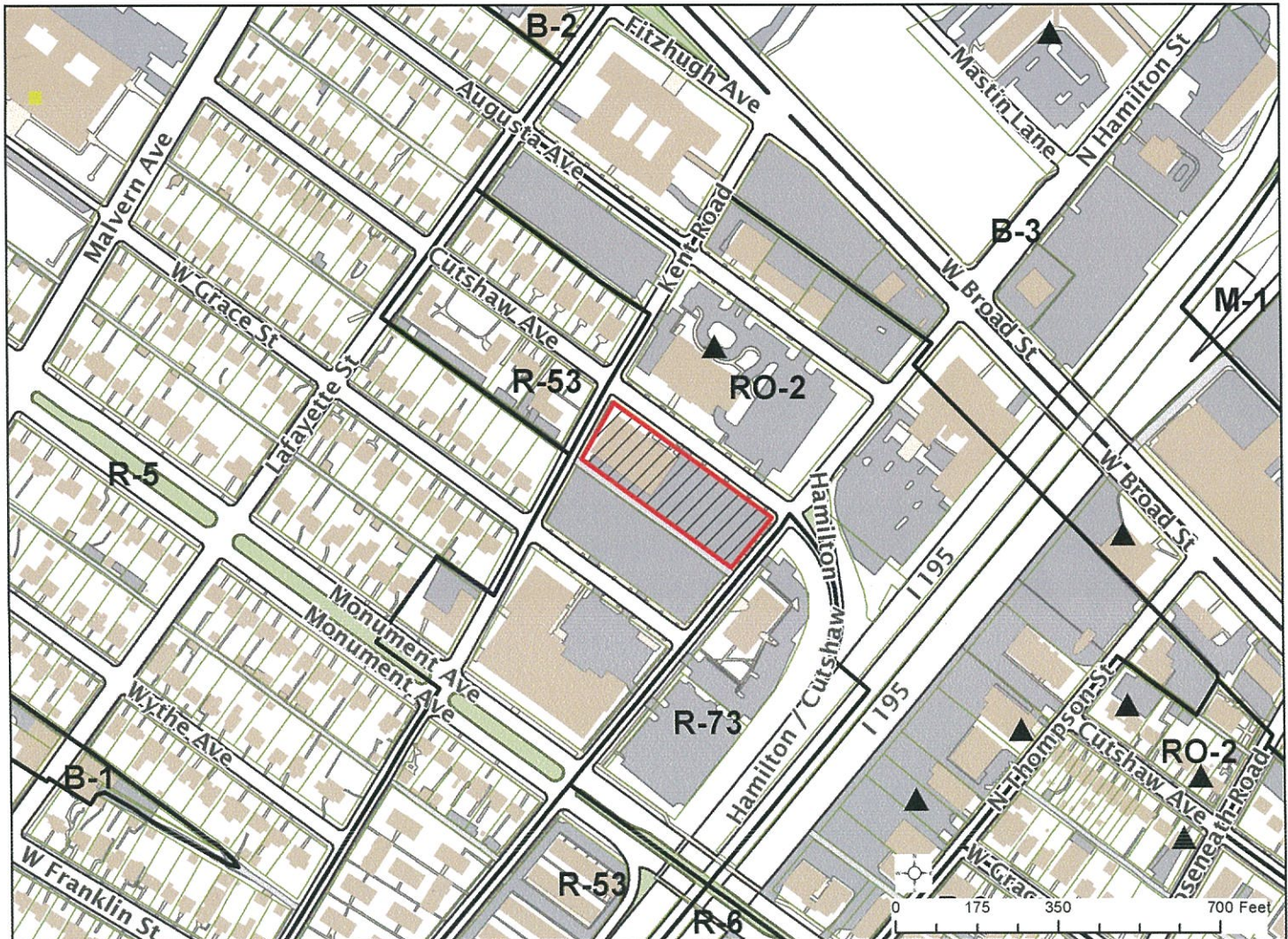
APPLICANT: Chris Harrison, CA Harrison Companies LLC

EXISTING USE: Vacant Building

PROPOSED USE: To authorize the special use of a portion of the property known as 3805 Cutshaw Avenue for the purpose of authorizing a multifamily dwelling with a total of up to sixty-six (66) dwelling units, upon certain terms and conditions.



For questions, please contact Lory Markham at 646-6309 or Lory.Markham@richmondgov.com



Item 4 – 3805 Cutshaw Avenue



Subject property from N Hamilton St



Subject property from Kent Rd



Subject property parking area



Property in vicinity



Property in vicinity



Property in vicinity

INTRODUCED: November 25, 2013

AN ORDINANCE No. 2013-245

To authorize the special use of a portion of the property known as 3805 Cutshaw Avenue for the purpose of authorizing a multifamily dwelling with a total of up to sixty-six (66) dwelling units, upon certain terms and conditions.

Patron – Mayor Jones (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: JAN 13 2014 AT 6 P.M.

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. That a portion of the property known as 3805 Cutshaw Avenue and identified as Tax Parcel No. W000-1717/011 in the 2013 records of the City Assessor, being more particularly shown as Parcel “A” on the plat entitled “Plat Showing Two Parcels of Land Situated on the South Line of Cutshaw Avenue,” prepared by Halder Surveys, P.C., and dated January 31, 2012, a copy of which is attached to and made a part of this ordinance, is hereby permitted to be used for the purpose of a multifamily dwelling with a total of up to sixty-six (66) dwelling units, substantially as shown on sheets CS, A1.0 through A1.3, A2.1 through A2.10, and A3.1 through A3.4 of the plans entitled “Improvements and Alterations at: The Daniels Building, 3805 Cutshaw

AYES: _____ NOES: _____ ABSTAIN: _____

ADOPTED: _____ REJECTED: _____ STRICKEN: _____

Ave., Richmond, Virginia,” prepared by Architecture Design Office, and dated August 26, 2013, with sheets CS and A1.1 through A1.3 being revised September 30, 2013, and as shown on sheets C1 through C6 and L1 through L3 of the plans entitled “Daniel Group, LLC, 3805 Cutshaw Ave, SUP-Site Plan” and prepared by Balzer & Associates, Inc., with sheets C1 and C6 being dated May 17, 2013, and revised October 11, 2013, sheets C2, L1, and L2 being dated August 22, 2013, and last revised October 21, 2013, sheets C3 and C4 being dated May 17, 2013, and last revised October 21, 2013, sheet C5 being dated May 17, 2013, and revised October 10, 2013, and sheet L3 being dated August 22, 2013, copies of all of which are attached to and made a part of this ordinance.

§ 2. That the adoption of this ordinance shall constitute the granting of a special use permit for the property, which shall be transferable from the owner of the property to the successor or successors in fee simple title of the owner, whether acquired by operation of law, deed or otherwise, and which shall run with the land.

§ 3. That the Commissioner of Buildings is hereby authorized to issue to the owner of the property a building permit, substantially in accordance with the plans referred to above, for the aforementioned purpose, subject to the following terms and conditions:

(a) The owner of the property shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the property, except as otherwise provided in this ordinance.

(b) An application for a building permit shall be made within twenty-four (24) months from the effective date of this ordinance. This building permit shall expire and shall become null and void if any necessary construction has not commenced within one hundred eighty (180) days from the date of the building permit or if construction is suspended or

abandoned for a period of one hundred eighty (180) days at any time after such construction has commenced, as provided in any applicable provisions of the Virginia Uniform Statewide Building Code. Should application for the building permit not be made within twenty-four (24) months after the effective date of this ordinance or should the building permit expire and become null and void after the expiration of the twenty-four (24) month time period for making application for the building permit, the privileges granted by this ordinance shall terminate and the special use permit shall become null and void.

(c) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the subject property have been paid.

(d) All required final grading and drainage plans, together with all easements made necessary by such plans, shall be approved by the Director of Public Utilities prior to the issuance of building permits.

(e) Storm or surface water shall not be allowed to accumulate on the land. The owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the property so as not to adversely affect or damage adjacent property or public streets and the use thereof.

(f) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(g) In order to ensure that the special use permitted by this ordinance (i) will not be detrimental to the safety, health, and general welfare of the community involved, (ii) will not create hazards from dangers in streets, roads, alleys and other public ways and places in the area

involved and (iii) will not adversely affect or interfere with public requirements, conveniences and improvements, the owner shall make improvements, including, but not necessarily limited to, streetscape improvements and all repairs needed to maintain the functionality of the 20-foot alley serving as a drive aisle for the parking area, within the right-of-way substantially as shown on the plans attached to this ordinance, which may be completed in one or more phases as approved by the Director of Public Works. All improvements and work within the public right-of-way shall be (i) completed in accordance with the requirements of the Director of Public Works and any applicable requirements of the Director of Public Utilities, (ii) considered completed only upon written confirmation by the Director of Public Works that such improvements and work are in accordance with such requirements, and (iii) transferred to the City, following the written confirmation by the Director of Public Works, pursuant to a transfer of interest document approved as to form by the City Attorney and accepted by the Chief Administrative Officer or the designee thereof on behalf of the City. The Chief Administrative Officer or the designee thereof, for and on behalf of the City, is hereby authorized to accept, in the manner for which this subsection provides, all improvements and work required by and meeting the requirements of this subsection. The final certificate of occupancy shall not be issued for the property until all requirements of this subsection are fully satisfied.

(h) The use of the property shall consist of a total of no more than sixty-six (66) dwelling units and amenity space, including a rooftop terrace, substantially as shown on the plans attached to this ordinance.

(i) No fewer than sixty-six (66) on-site parking spaces shall be provided for the use of the property, substantially as shown on the plans attached to this ordinance.

(j) The on-site parking area shall be screened and landscaped, and lighting height shall be limited to a maximum of twenty (20) feet, substantially as shown on the plans attached to this ordinance.

(k) The subdivision of the property into two new parcels, shown as Parcel "A" and Parcel "B" on the plat attached to this ordinance, by recording the appropriate plats among the land records of the Clerk of the Circuit Court of the City of Richmond, shall be completed prior to the submission of any application for a building permit.

(l) Prior to the issuance of a certificate of occupancy, landscaping on the property shall be provided, substantially as depicted on the plans attached to this ordinance.

(m) Any encroachments existing, proposed on the attached plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2004), as amended.

(n) In all other respects, the use of the property shall be in accordance with the applicable underlying zoning regulations.

§ 4. That the privileges granted by this ordinance may under certain circumstances be revoked. Upon noting that a condition of a special use permit has been violated, the Zoning Administrator shall issue a written notice of violation to the property owner. The notice shall inform the property owner (i) which condition or conditions have been violated, (ii) the nature of the violation, and (iii) that the City Planning Commission shall hold a public hearing at which it shall review the violation and the special use permit pursuant to the provisions of sections 114-1050.7 through 114-1050.11 of the Code of the City of Richmond (2004), as amended, if (a) the property owner does not abate the violation within thirty (30) days of the issuance of the notice or (b) three (3) notices of violation are issued to the property owner within any twelve (12) month period. No

action taken pursuant to the provisions of this section shall in any way limit the City's right to pursue any other remedy at law or in equity against the property owner. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 114-1080 of the Code of the City of Richmond (2004), as amended, or any other applicable laws or regulations.

§ 5. That when the privileges granted by this ordinance terminate and the special use permit becomes null and void, use of the property shall be governed thereafter by the zoning regulations prescribed for the district in which the property is then situated.

§ 6. This ordinance shall be in force and effect upon adoption.



Application for SPECIAL USE PERMIT

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment

Project Name/Location

Project Name: The Daniel Building Date: 08/15/2012

Property Address: 3805 Cutshaw Avenue Tax Map #: W000-1717/011

Fee: \$1,800.00 Total area of affected site in acres: 0.8780
(See page 3 for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: RO-2

Existing Use: Vacant Office Building

Is this property subject to any previous land use cases?

- Yes
- No

If Yes, please list the Ordinance Number:

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Adaptive reuse to 66 residential units within
the existing structure. On-site parking ratio
of one space/unit. No commercial uses.

Applicant/Contact Person: Enoch Pou, Jr.

Company: ClaireView Enterprises, LLC Attn: Enoch Pou, Jr.

Mailing Address: 7109 Staples Mill Road, #184

City: Richmond State: VA Zip Code: 23228

Telephone: (804) 755-6648 Fax: (804) 755-6659

Email: epoujr@cve1.com

Property Owner: Daniel Group, LLC

If Business Entity, name and title of authorized signee: Michael C. Scelzi, Manager

Mailing Address: 11219 Nuckols Road, Suite D

City: Glen Allen State: VA Zip Code: 2305980

Telephone: (804) 355-1335 Fax: ()

Email: michaelscelzi@gmail.com

Property Owner Signature: *Michael C. Scelzi*

(The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.)

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

The Honorable Council of the City of Richmond, Virginia

c/o The Department of Planning and Development Review
Land Use Administration Division, Room 511
City Hall, 900 East Broad Street
Richmond, VA 23219

Special Use Permit Application

Applicant's Report

Subject Property

3805 Cutshaw Avenue

Tax Parcel Number

W-000-1717/011

Owner/Contact

Daniel Building, LLC
c/o The Harrison Companies, LLC
attn: Mr. Chris Harrison
5301 Westband Circle, Suite 147
Bethesda, MD 20816
Office: (301) 346-7005
Fax: (301) 913-0012
chris@caharrisoncompanies.com

Proposed Use

The Applicant has created a 0.878 acre parcel with an existing five-story, vacant office building on the parcel. The parcel was created in anticipation of being able to perform an adaptive reuse of the vacant office building to a residential use only. We are proposing a multifamily use of the existing building with the required 1/1 on-site parking ratio in order to provide a modern, market rate housing opportunity in the Far West End area of the City of Richmond.

Reason

The subject property is zoned RO-2, Residential Office and allows approximately 30 residential units by right. The adaptive reuse does not meet minimum lot area and usable open space requirements for the proposed 66 residential units.

I. Property Description

The subject property is located at the intersection of Cutshaw Avenue and Kent Road. It is bounded by Cutshaw Avenue to the North, Kent Road to the west, a public alley to the south, and a parcel with surface parking known as 3801 Cutshaw Avenue to the east. The surface parking at 3801 Cutshaw Avenue lies at the intersection of Cutshaw Avenue and North Hamilton Street. The on ramp to I-195 is directly across the street from its North Hamilton Street boundary. The site is nestled in the heart of a group of office buildings in the Sauer's Garden neighborhood. The subject property, 3805 Cutshaw Avenue, currently houses a vacant five story office building known as the Daniel Building. The site contains approximately 0.878 acres or 38,245 square feet of lot area. The vacant office building contains approximately 50,400 square feet of usable space and has been vacant since suffering severe fire damage more than a year ago.

II. Concept of Proposed Adaptive Reuse and Conversion of the Site

We are proposing to perform an adaptive reuse of the existing building into 66 one, two, and three bedroom apartments. The proposed Plan calls for no alteration or changes in the exterior appearance of the building. There will not be the development of additional square footage on the site associated with the adaptive reuse.

The requisite Site Plan defining such items as parking, sidewalks, dumpster placement, and landscaping reflects the existing configuration of those aspects. The configuration and placement will remain the same after the adaptive reuse.

The existing building is not in a Historic District as defined by the National Park Service. Because the proposed development is not in a City Old and Historic District, the project does not have to be presented to the City's Commission of Architectural Review for approval of proposed improvements to the existing building. The parcel is not within the boundaries of any Civic Association that is registered with the City of Richmond.

III. Size and Amenities

The adaptive reuse of the existing building will incorporate construction methods that follow high efficiency energy standards where applicable. The apartments will contain central heating and air conditioning, security systems, digital cable television and high-speed internet connections, dishwasher, range, disposal, refrigerator, washer and dryers, solid surface countertops, ceramic tile in the baths, and walk-in closets. The building will contain an exercise room in the basement, a Tenant's Lounge at the ground level, and a rooftop sunroom with an open terrace. Of the 66 proposed apartments, there are 64 one and two bedroom apartments range in size from approximately 562 square feet to approximately 1,100 square feet. There are only two proposed three bedroom apartments with approximately 1,200 each. The average apartment size is 727 square feet.

IV. Off-Street Parking and Site Improvements

In accordance with Article VII of the Zoning Ordinance, *Sec. 114-710.1, Number of spaces required for particular uses*, the proposed adaptive reuse meets the requirement of one parking space per dwelling unit for one main building on a lot of record. The parking area will be exclusive to the site and will be accessed at the existing entrance along Cutshaw Avenue.

The adjacent but separate parcel, 3801 Cutshaw Avenue, has approximately 73 surface parking spaces. The Vicinity Map on the enclosed plans reflects approximately 50 off-site parking spaces in the immediate vicinity of the subject property along Cutshaw Avenue and Kent Road.

The site is neither in the Chesapeake Bay Preservation Area nor in the limits of the 100-year flood plain.

V. Community and Civic Group Support

The parcel is not within the boundaries of any local Civic Association registered with City Administration.

VI. Required Findings of Fact as Specified in the City Charter and Zoning Ordinance

The proposed Special Use will not:

- a) be detrimental to the safety, health, morals and general welfare of the community involved;

A vacant building will be repurposed. This proposal represents an investment of more than \$7 million toward a residential opportunity in a highly visible area of the city along a significant corridor and thriving area of the city. The higher residential concentration will benefit the current and future businesses in the area.

- b) tend to create congestion in street, roads, alley and other public ways and places in the area involved;

The proposal meets the City's normal zoning requirement for the provision of one off-street parking space per dwelling unit on the subject parcel. The adjacent but separately recorded parcel known as 3801 Cutshaw Avenue offers the benefit of an available additional 73 surface parking spaces. Therefore, adequate off-street parking would be provided.

In addition to the parking spaces at 3801 and 3805 Cutshaw Avenue, there are approximately 50 on-street parking spaces in the immediate vicinity. Given the commercial office space use of the buildings in the area, it is assumed that, if desired, there will be ample on-street parking for residents in the evening.

c) create hazards from fire, panic or other dangers;

The exiting interior thoroughfares will not change and currently meet the access requirements necessary for fire and any other emergency vehicles.

d) tend to cause overcrowding of land and an undue concentration of population;

This development is in keeping with the City's desire to repopulate its neighborhoods and create consumers to support its efforts to bring retail, cultural, and residential interest back to the City. This proposal would be consistent with those same goals.

Although the required useable open space of not less than 40 percent of the lot area is not met under the proposed multifamily use, the development will offer approximately 3,500 square feet of terrace area at the ground level, 400 square feet of rooftop sunroom/amenity space, and approximately 1,890 square feet of rooftop terrace area.

e) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements;

This proposal offers the opportunity to increase taxable real-estate without creating additional demands for City services, such as schools, social service needs, or infrastructure development. Existing water supply and waste disposal systems are more than adequate for the proposed adaptive reuse. The property is in very close proximity to public transportation. Residents would be able to use such transportation to travel to employment centers such as the Medical College of Virginia, the Biotechnology Park, Phillip Morris, and West End as well as Downtown businesses.

f) interfere with adequate light and air;

The existing building is in keeping with the height and scale of other buildings in the area and there will be no changes to the exterior elevations. Therefore, the esthetics of the neighborhood will not be altered.

Conclusion

This adaptive reuse was conceptualized with the mindset of making it a vibrant and contributing component of the Sauer's Garden area of the City. Given its unique and sturdy construction, it has always been our intent to preserve the existing building. It has also always been our intent to maximize the utility of the site. Understanding the need for housing within this community and the City as a whole, the concept of an adaptive reuse of the underutilized existing building was formulated and is being proposed.

3805 Cutshaw Avenue
Applicant's Report
August 15, 2012
Page 5 of 5

With the adaptive reuse of the commercial building that has sat vacant, our efforts will have a tremendous impact on the resurrection of this parcel in this neighborhood. The development of these apartments will also provide a modern, quality housing opportunity in this area. By securing this Special Use Permit and converting it to an entirely residential use, we will be bringing it to its highest and best use, increasing the City's tax base, and most importantly, providing a housing opportunity to a current or future resident of the City of Richmond.

Respectfully submitted,

Daniel Building, LLC

Encls
Survey
Zoning Confirmation Letter
Chesapeake Bay/Flood Plain Map

Ebinger, Matthew J. - PDR

From: Markham, Lory P. - PDR
Sent: Tuesday, January 07, 2014 4:26 PM
To: Ebinger, Matthew J. - PDR
Subject: FW: Daniel building

From: Baliles, Jonathan T. - Council Member
Sent: Tuesday, January 07, 2014 3:39 PM
To: Markham, Lory P. - PDR
Subject: FW: Daniel building

For the file

From: Richard Rose [<mailto:rrrose45@hotmail.com>]
Sent: Tuesday, December 31, 2013 7:14 PM
To: Baliles, Jonathan T. - Council Member
Subject: Daniel building

Dear Councilman Baliles,

I see from emails within the Sauers neighborhood that many are aligned against the building either having an exception to accommodate 60 units or even to become residential. I live close to the building. Frankly, any development of the building seems better than leaving it vacant. Perhaps the builder cannot turn a profit on less than 60 units. Maybe a thirty-unit building of larger apartments would be overpriced. Perhaps the builder is also concerned about the large new competitor a block down on Broad.

I dunno.

A few questions: Is the parking lot big enough for 60 units? Not too much reliance should be placed on street parking in this area. Has the International Mission Board been approached to share or rent some lots? What about a mixed use building with some commercial units on the lower floors and apartments on the upper floors?

As I say, 60 units are okay with us but not with most of our neighbors, but I don't see any reason to table the discussion. This building has been a problem long enough and I'm pleased that a discussion has begun.

Sincerely,
Richard Rose

Richard and Kathleen Rose
BOOK BLOG : <http://www.frameshifts.com>
GENERAL WEBSITE: <http://marginalnotesinwordsandmusic.org>



City of Richmond
Department of Planning & Development Review
DEVELOPMENT PROPOSAL RESPONSE FORM

Development Proposal / Address:

Special Use Permit Application for 3805 Cutshaw Avenue - File No. 9688

Association Name: JEFFERSON TERRACE CIVIC ASSOCIATION (JTCA)

Please Check Appropriate Boxes:

The Association's (check one) [X] Membership or Board met BY E-MAIL and voted to [] Oppose [] Support [] Take no position on this proposal. EXCHANGE

This Association does not intend to consider this issue because:

Was a representative for the proposal present? [] YES [X] NO
THE ASSOCIATION INTENDS TO HAVE ADDITIONAL COMMENTS AND CONSIDERATION FOLLOWING A MEETING WITH THE APPLICANT.

Other comments: A HIGH-DENSITY APARTMENT DEVELOPMENT ON THIS PROPERTY IS NOT SUPPORTED BY JTCA. THE APPLICATION HAS NUMEROUS ERRORS AND OMISSIONS AS LISTED IN THE ATTACHMENT. HIGH-DENSITY APTS. ON THIS PROPERTY CONFLICT WITH THE CITY'S LAND USE PLAN.*

LARRY G. HEDGEPEATH
Print Name

PRESIDENT - JTCA
Title

[Signature]
Signature

JANUARY 2, 2014
Date

Please send to:

Matthew Ebinger, AICP - Senior Planner
Mail: Matthew Ebinger, AICP - Senior Planner
City of Richmond
Land Use Administration Division
900 East Broad Street, Room 511
Richmond, VA 23219

Email: Matthew.Ebinger@richmondgov.com

Fax: (804) 646-5789

ATTACHMENT

* THE APPLICANT HAS FAILED TO JUSTIFY THE NEED FOR HIGH-DENSITY HOUSING ON THE PROPERTY. THE APPLICANT HAS NOT IDENTIFIED ANY BENEFITS TO THE NEIGHBORHOOD OR THE FAR WEST DISTRICT, OTHER THAN OCCUPYING A BUILDING THAT IS CURRENTLY VACANT DUE TO FAILURE TO RESTORE AFTER FIRE DAMAGE.

Errors and Omissions – SUP Application for 3805 Cutshaw Avenue – File No. 9688

Ordinance No. 2013-245

1. Regarding Section 3(d & e), the drainage plans required are not included in the applicant's report; there is no indication that drainage engineering calculations have been prepared for each proposed parcel.
2. If the existing parcel will be divided, Section 3(h) should address the use of each property – 3805 Cutshaw Avenue and 3801 Cutshaw Avenue. The additional issues of useable open space and side and rear yard dimensions need to be included in the statements within the Ordinance. (See item 14.d. below.)
3. If the existing parcel will be divided, Section 3(i) should address the parking on each property – 3805 Cutshaw Avenue and 3801 Cutshaw Avenue.
4. Does the screening in Section 3(j) refer to blocking the view and noise from the parking areas? How is the on-site parking area along the alley screened?
5. In Section 3(k), the purpose of the division of the existing property is not addressed, nor is the proposed use of Parcel "B." (If the use of Parcel "B" is for additional parking for the residents of 3805 Cutshaw Avenue, then there is no need for dividing the existing parcel. The plans will need to be changed to eliminate the division.)

Applicant's Report

6. The date of the report will need to be updated when corrections are made.
7. Under **Proposed Use**, The entire existing 1.292-acre parcel has not been addressed, and the reason for creating two parcels has not been addressed. The applicant has omitted the proposed use of Parcel "B." If the use of Parcel "B" is for additional parking for the residents of 3805 Cutshaw Avenue, then there is no need for dividing the existing parcel. The plans will need to be changed to eliminate the division.
8. Under **Reason**, the allowance of 30 units is deceiving. This is only correct if the existing parcel is divided. If undivided, 45 units would be allowed for the existing parcel for RO-2 zoning, assuming the reduced useable open space is approved.
9. The **Property Description** is given for the proposed divided parcels, not the existing property. This distinction should be made clear. For the divided parcels, the purpose of surface parking at 3801 Cutshaw Avenue should be part of this description. If the use of Parcel "B" is for additional parking for the residents of 3805 Cutshaw Avenue, then there is no need for dividing the existing parcel. The plans will need to be changed to eliminate the division. The site (the entire existing parcel) contains 1.292 acres or 56,285 square feet of lot area, not 0.878 acres or 38,245 square feet. The site is in Jefferson Terrace, not Sauer's Garden. The building's fire damage occurred over two years ago.
10. Under **Concept of Proposed Adaptive Reuse and Conversion of the Site**, the purpose of the proposal should be identified, since the proposal contradicts the City's Master Plan for the properties in this area.
11. The **Size and Amenities** section fails to explain why 66 units are preferable to 45 units (or 30 units). Fewer units of larger size would be more attractive for families

with school-aged children in this area. At 45 units with no SUP required, the average apartment size would be 1066 square feet.

12. In the section concerning **Off-Street Parking and Site Improvements**, the applicant describes 73 surface parking spaces at 3801 Cutshaw Avenue as justification for the proposal. If this parking is used for the residents of 3805 Cutshaw Avenue, then there is no need for dividing the existing parcel. The plans will need to be changed to eliminate the division.
13. The statement under **Community and Civic Group Support** is incorrect. The existing parcel is within the boundaries of Jefferson Terrace Civic Association. See the map at:
<http://www.richmondgov.com/PlanningAndDevelopmentReview/documents/JeffersonTerraceCivicAssociation.pdf>
14. **Required Findings** These statements do not seem to ensure that the proposed development will be compatible with the surrounding area, but rather emphasize its incompatibility.
 - a) The statement that “the higher residential concentration will benefit the current and future businesses in the area” has no explanation and no basis in fact. The Master Plan for the City of Richmond shows no justification for high-density housing in the Far West District of the City, except in a confined parcel owned by UMFS on North Hamilton Street north of West Broad Street, outside of the Jefferson Terrace neighborhood. In fact, this housing would disrupt the harmony of the current residential use in the Jefferson Terrace neighborhood.
 - b) Once again, the applicant describes 73 surface parking spaces at 3801 Cutshaw Avenue as justification for the proposal. If this parking is used for the residents of 3805 Cutshaw Avenue, then there is no need for dividing the existing parcel. The plans will need to be changed to eliminate the division. Also, the applicant fails to identify the substantial increase in nighttime traffic generated by high-density housing that will flow through the quiet low-density residential neighborhood streets as a result of the proposed use. And the applicant has not addressed the rush-hour traffic commonly encountered on North Hamilton Street and the ramp to southbound I-195 immediately adjacent to the property.
 - c) No comment.
 - d) Contrary to the applicant’s statement, this neighborhood has absolutely no need for residential re-population. The applicant seems to be confusing our neighborhood with Near West District areas such as Scott’s Addition. There are two additional problems in this section: The “useable open space” issue needs to be included in the statements within the Ordinance, and the applicant has ignored the side and rear yard dimensional requirements that are not met when the use of this property changes to multifamily dwellings. (See **Sec. 114-426.5. Yards.(2)b.** of the City’s Zoning Ordinance. This building includes a wall surrounding the ground floor that is not part of the yard.)
 - e) The applicant states that “existing water supply and waste disposal systems are more than adequate for the proposed adaptive reuse,” but there

is no indication that engineering calculations have been prepared to demonstrate adequacy.

- f) The applicant should delete the reference to the “height” of the building, because its height actually dominates all others in the neighborhood.

15. There are multiple errors in the **Conclusion**:

- Sauer’s Garden should be changed to Jefferson Terrace.
- The applicant shows no “understanding of the need for housing within this community” – there is no high-density housing need in our neighborhood or in the Far West District, based on the City’s Master Plan. Again, the applicant seems to be confusing our neighborhood with Near West District areas such as Scott’s Addition.
- The applicant describes the building as “underutilized” but does not explain why the owner has failed to renovate it since the fire so that it could be occupied. (Presumably, insurance payments would have paid for demolition, repairs and renovations.)
- The applicant’s proposal will not bring the building “to its highest and best use.” According to the City’s zoning and land use plan, the best use for this property is for office space, and no high-density housing is needed in this neighborhood.

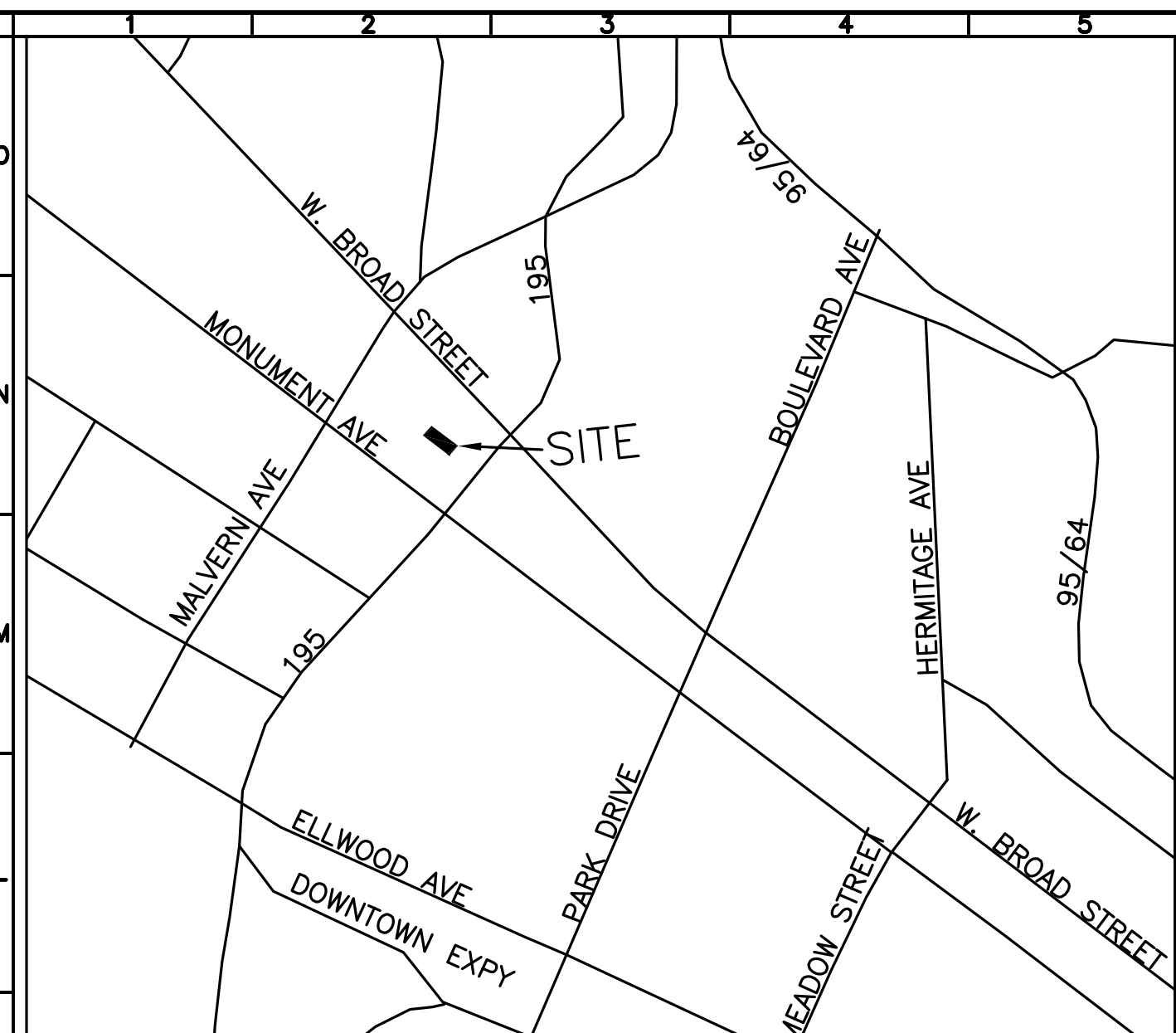
GENERAL NOTES

- SITE ADDRESS: 3805 CUTSHAW AVE
RICHMOND, VIRGINIA 23230
- CLIENT: CA HARRISON COMPANIES
5301 WESTBARD CIRCLE, SUITE 147
BETHESDA, MD 20816
PHONE: (301) 202-4477
EMAIL: INFO@CAHARRISONCOMPANIES.COM
CONTACT: MR. CHRIS HARRISON
AGENT: BALZER AND ASSOCIATES, INC.
15871 CITY VIEW DRIVE
SUITE 200
MIDLOTHIAN, VA 23113
PHONE: (804)-794-0571
FAX: (804)-794-2635
CONTACT: DAVID LISOWSKI, R.L.A.
- ARCHITECT: ARCHITECTURE DESIGN OFFICE
105 EAST BROAD STREET
RICHMOND, VA 23219
PHONE: (804) 343-1212
CONTACT: MR. TODD DYKSHORN
- USE: APARTMENTS
- ZONING: RO-2 SPECIAL USE PERMIT
- TAX PARCEL NO.: W0001717011
- SITE AREA: 1.283 ACRES
DISTURBED AREA: 0.041 ACRES(1,800 SF)
- WATER: CITY
- SEWER: CITY
- BUILDING AREA/NO. OF STORIES: FIVE FLOORS = 66,520 SF
BASEMENT FLOOR = 2,496 SF
- PARKING REQUIRED: 66 SPACES; 1 SPACE PER UNIT
- PARKING PROVIDED: 66 SPACES (3 ADA SPACES)(13 COMPACT SPACES)
- SURFACE PARKING AREA LANDSCAPE
REQUIRED: ONE LANDSCAPE ISLAND PER 15 SPACES + AN ISLAND AT THE EACH ROW ADJACENT TO ACCESS AISLES AND DRIVEWAYS.
PROVIDED: AS SHOWN
- CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTACT "MISS UTILITY" OF CENTRAL VA TOLL FREE 1-800-552-7001.

**DANIEL GROUP, LLC
3805 CUTSHAW AVE
SUP-SITE PLAN**

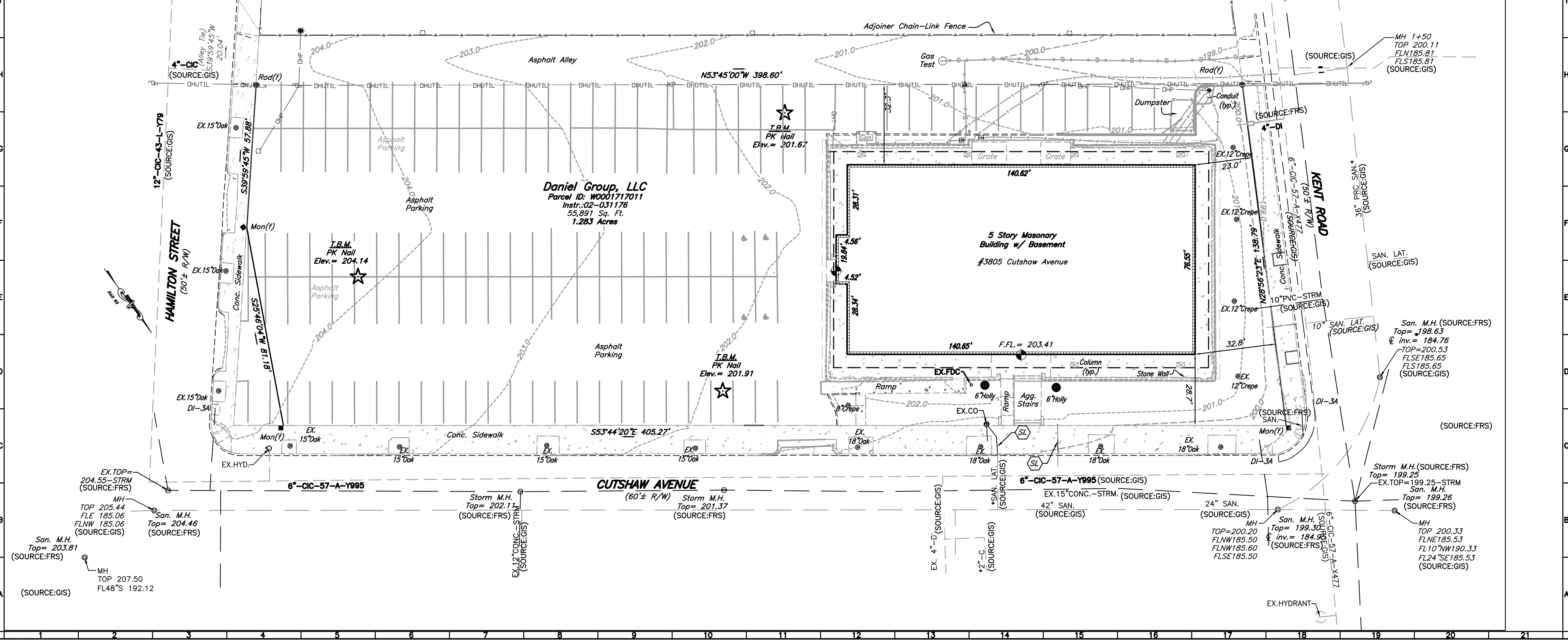
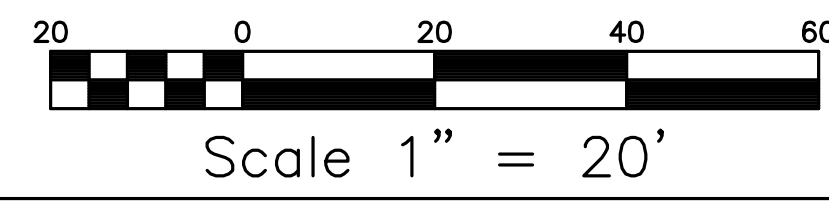
SHEET INDEX

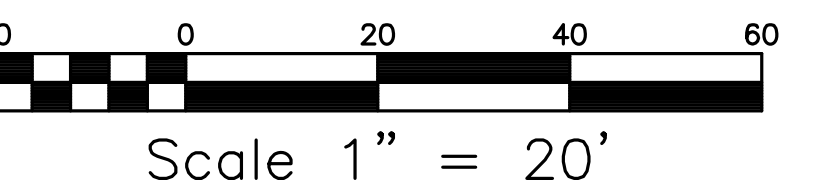
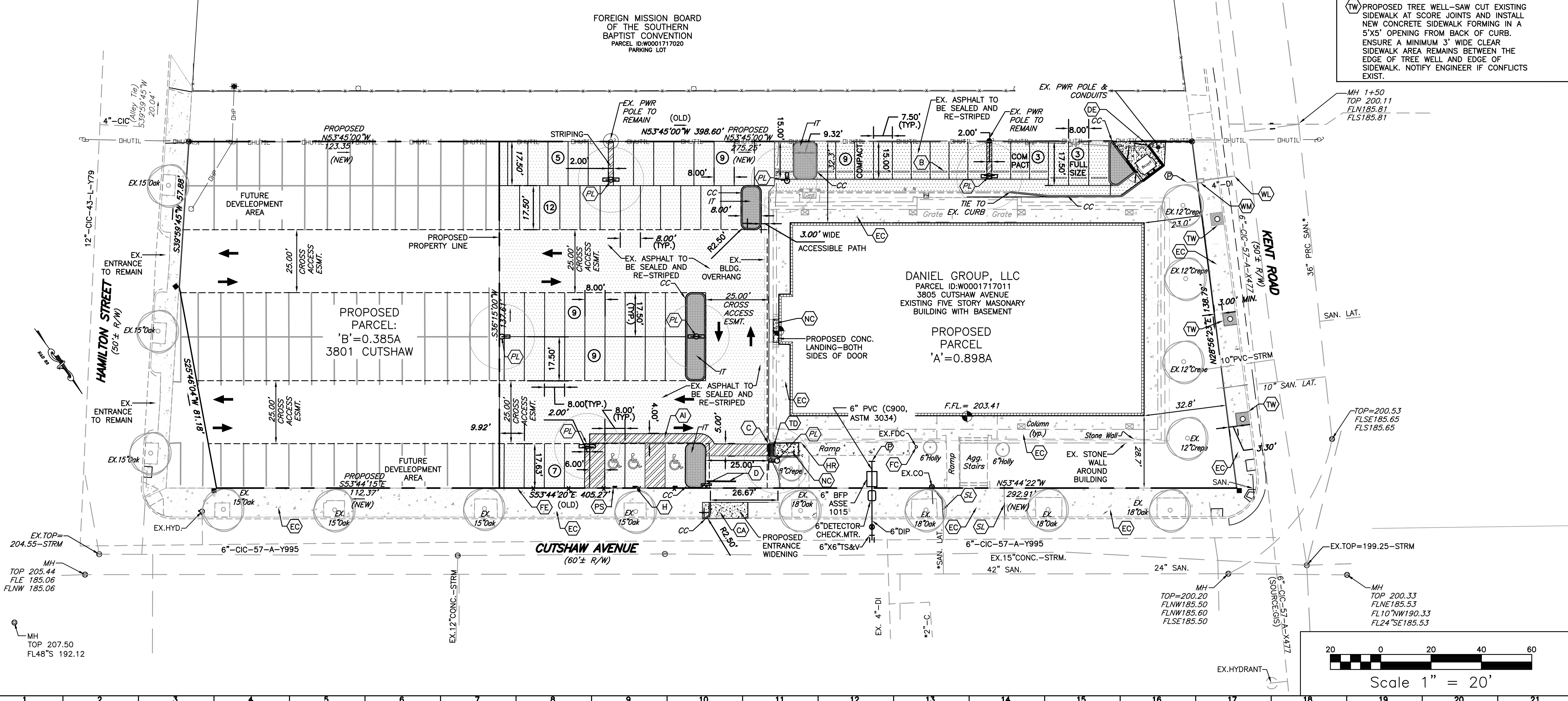
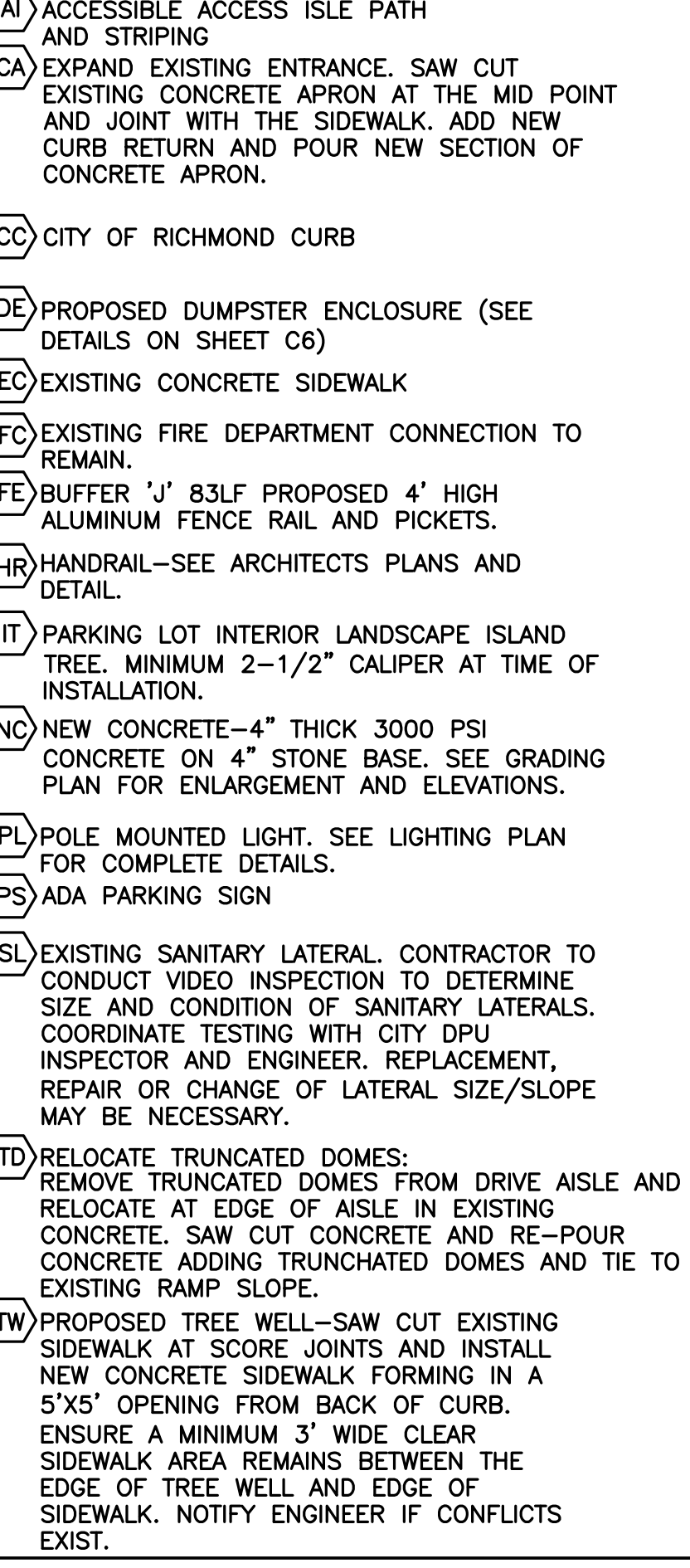
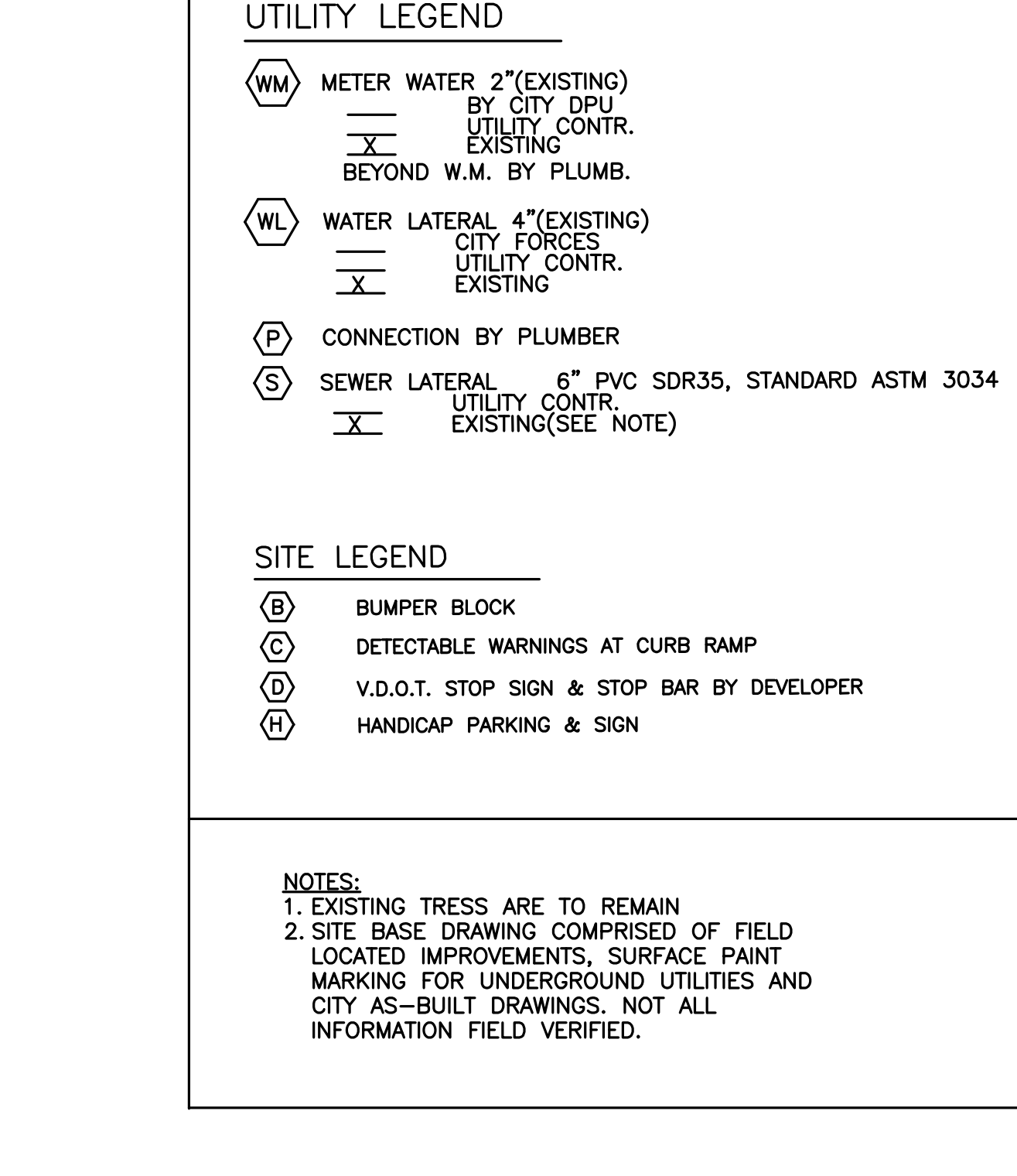
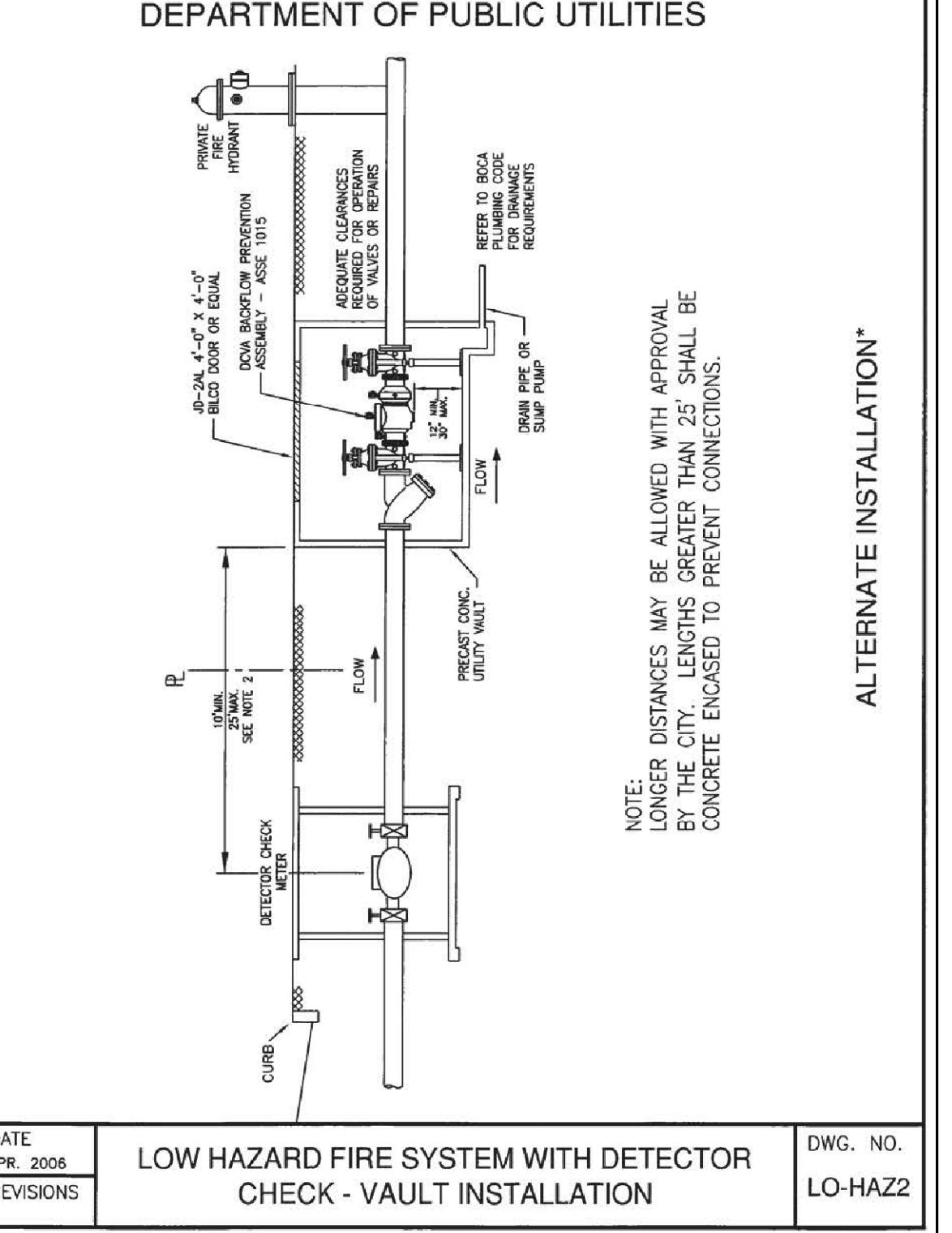
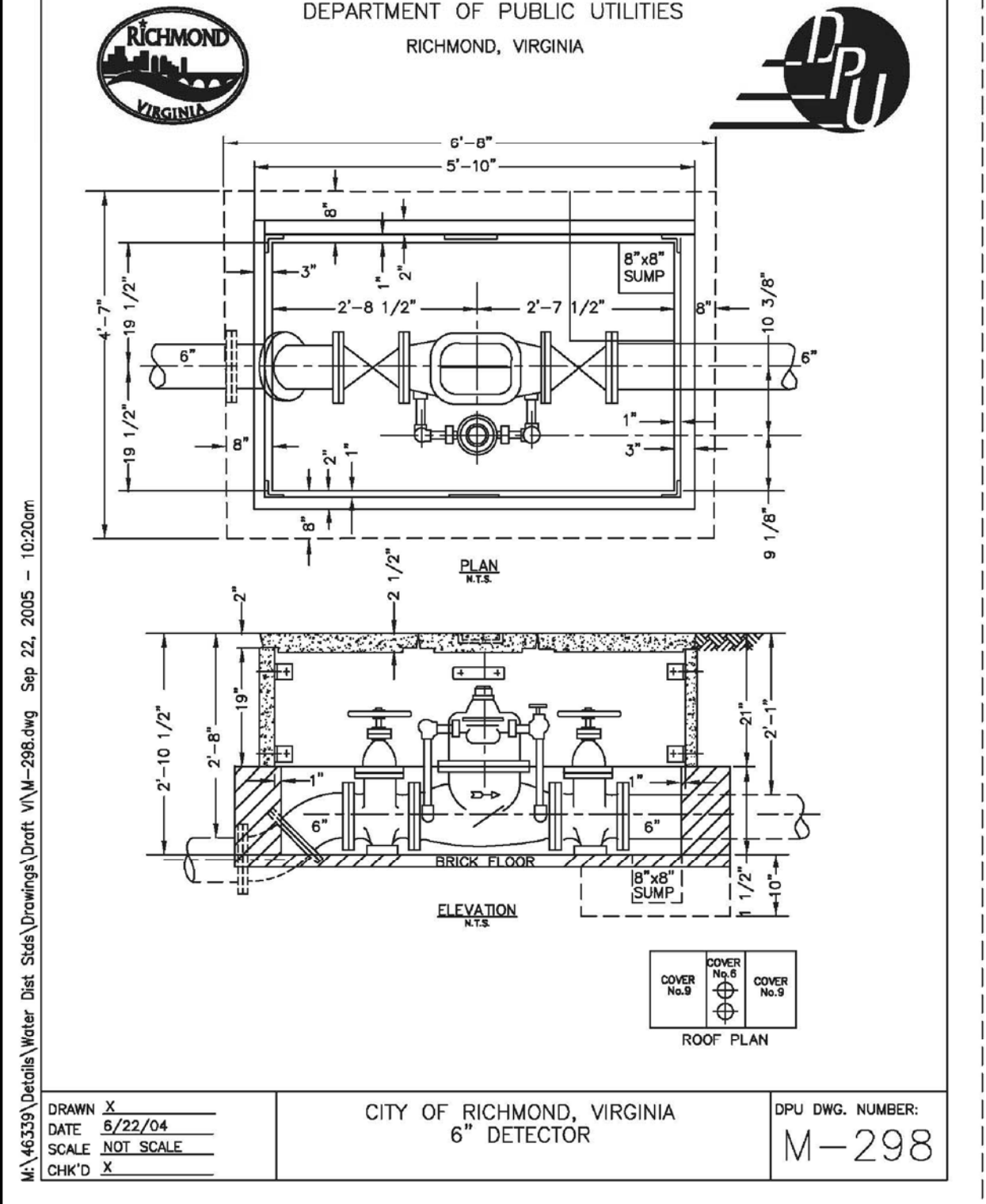
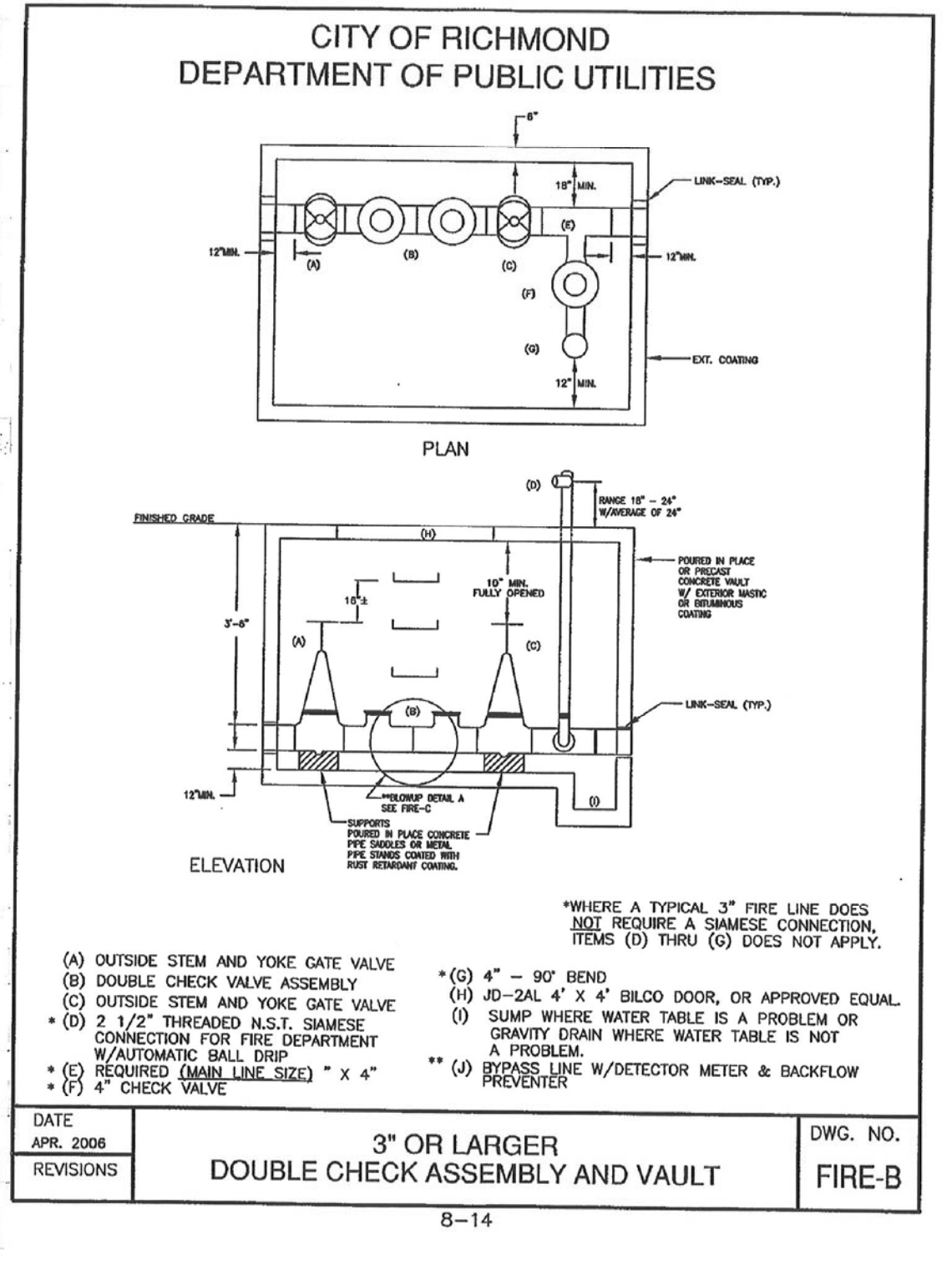
- C1- COVER & EXISTING CONDITIONS
- C2- LAYOUT & UTILITY PLAN
- C3- GRADING PLAN
- C4- DEMOLITION PLAN
- C5- DETAILS-1
- C6- DETAILS-2
- L1- LANDSCAPE PLAN
- L2- LIGHTING PLAN
- L3- LIGHTING DETAILS

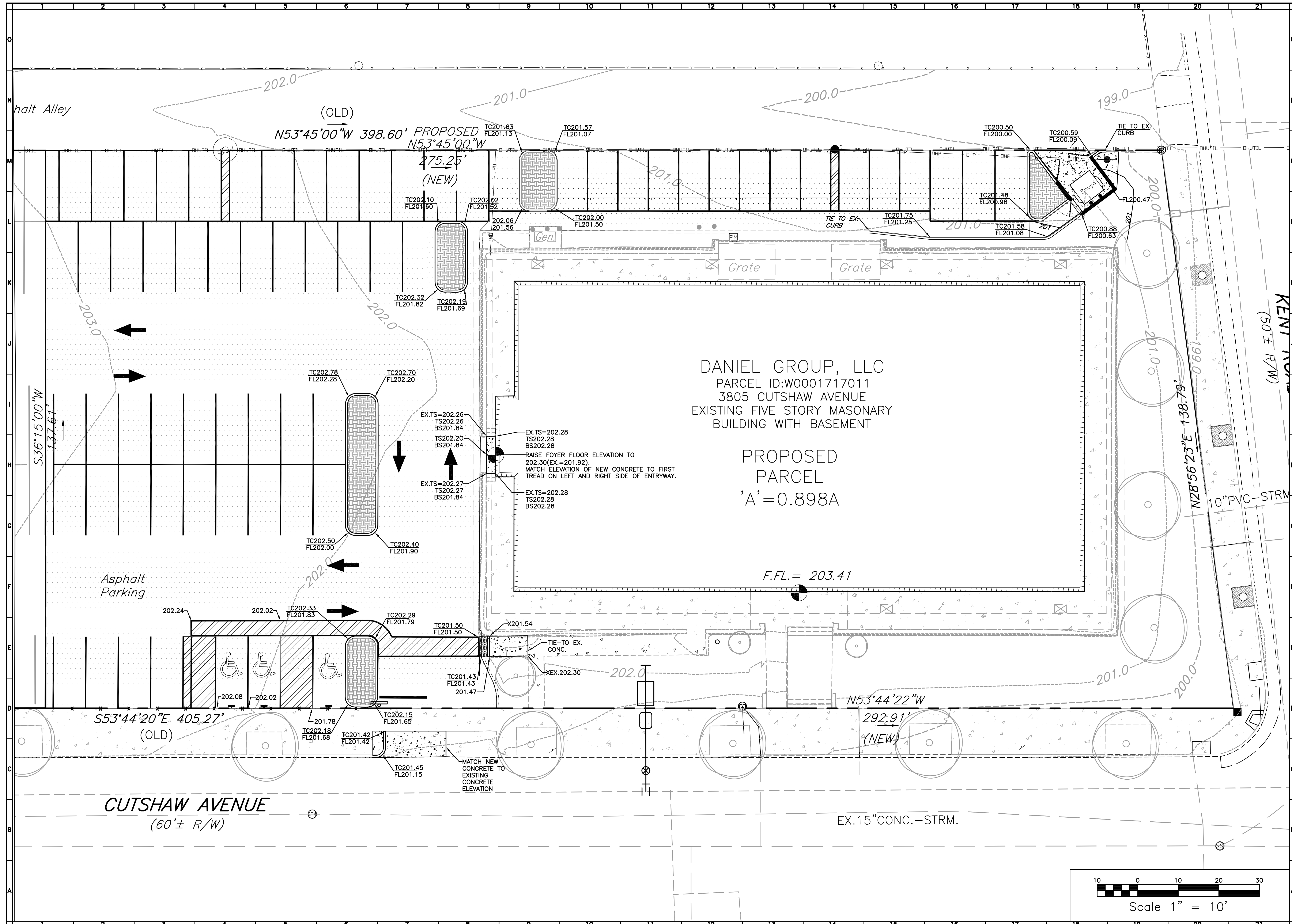


PERMITS REQUIRED:
BUILDING PERMIT
UTILITY PERMIT
URBAN FORESTRY APPROVAL
WORK IN STREET PERMITS
LINE AND GRADE PERMIT
ENTRANCE PERMIT

LEGEND
SOURCE:GIS= AS-BUILT INFORMATION OBTAINED FROM CITY GIS RECORDS
SOURCE:FRS= FIELD RUN SURVEY LOCATED



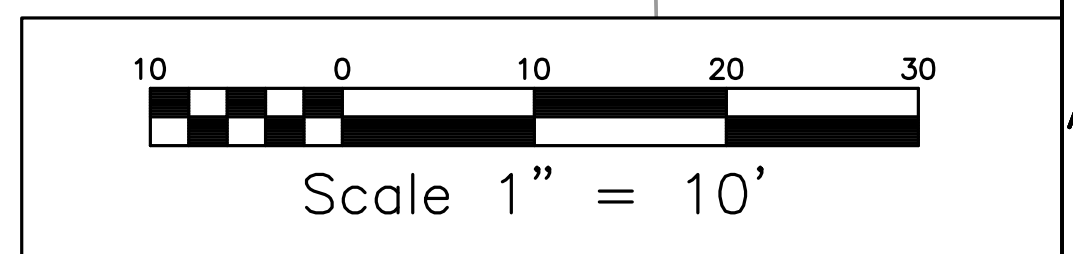




3805 CUTSHAW AVE
GRADING PLAN
WEST END-1ST DISTRICT
CITY OF RICHMOND, VIRGINIA

DRAWN BY DJL
DESIGNED BY DJL
CHECKED BY CMS
DATE 05-17-2013
SCALE 1"=10'
REVISIONS:
10-11-13
10-21-13

SHEET NO.
C3
JOB NO. C1300147.00



DEMOLITION LEGEND

- (AC) SAW CUT ASPHALT 2' BEYOND PROPOSED FACE OF CURB. REMOVE ASPHALT AND BASE STONE TO A DEPTH OF 12".
- (AM) SEAL EXISTING ASPHALT PARKING LOT. STRIPE SPACES PER LAYOUT PLAN.
- (GB) GUTTER BUDDY - CURB/GUTTER FILTERS (80LF)

FOREIGN MISSION BOARD
OF THE SOUTHERN
BAPTIST CONVENTION
PARCEL ID: W0001717020
PARKING LOT

DANIEL GROUP, LLC
PARCEL ID: W0001717011
3805 CUTSHAW AVENUE
EXISTING FIVE STORY MASONRY
BUILDING WITH BASEMENT

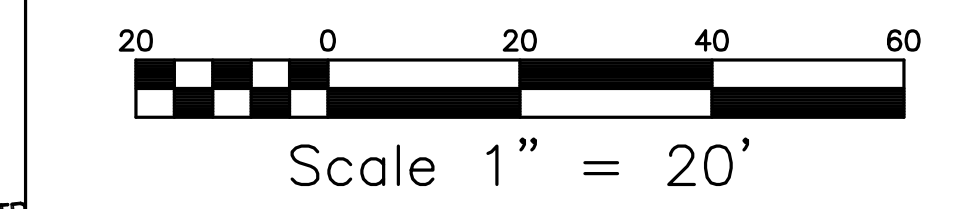
PROPOSED
PARCEL
'A'=0.898A

PROPOSED
PARCEL:
'B'=0.385A
3801 CUTSHAW

CUTSHAW AVENUE
(60'± R/W)

KENT ROAD
(60'± R/W)

HAMILTON STREET
(50'± R/W)



3805 CUTSHAW AVE
DEMOLITION PLAN
WEST END-1ST DISTRICT
CITY OF RICHMOND, VIRGINIA

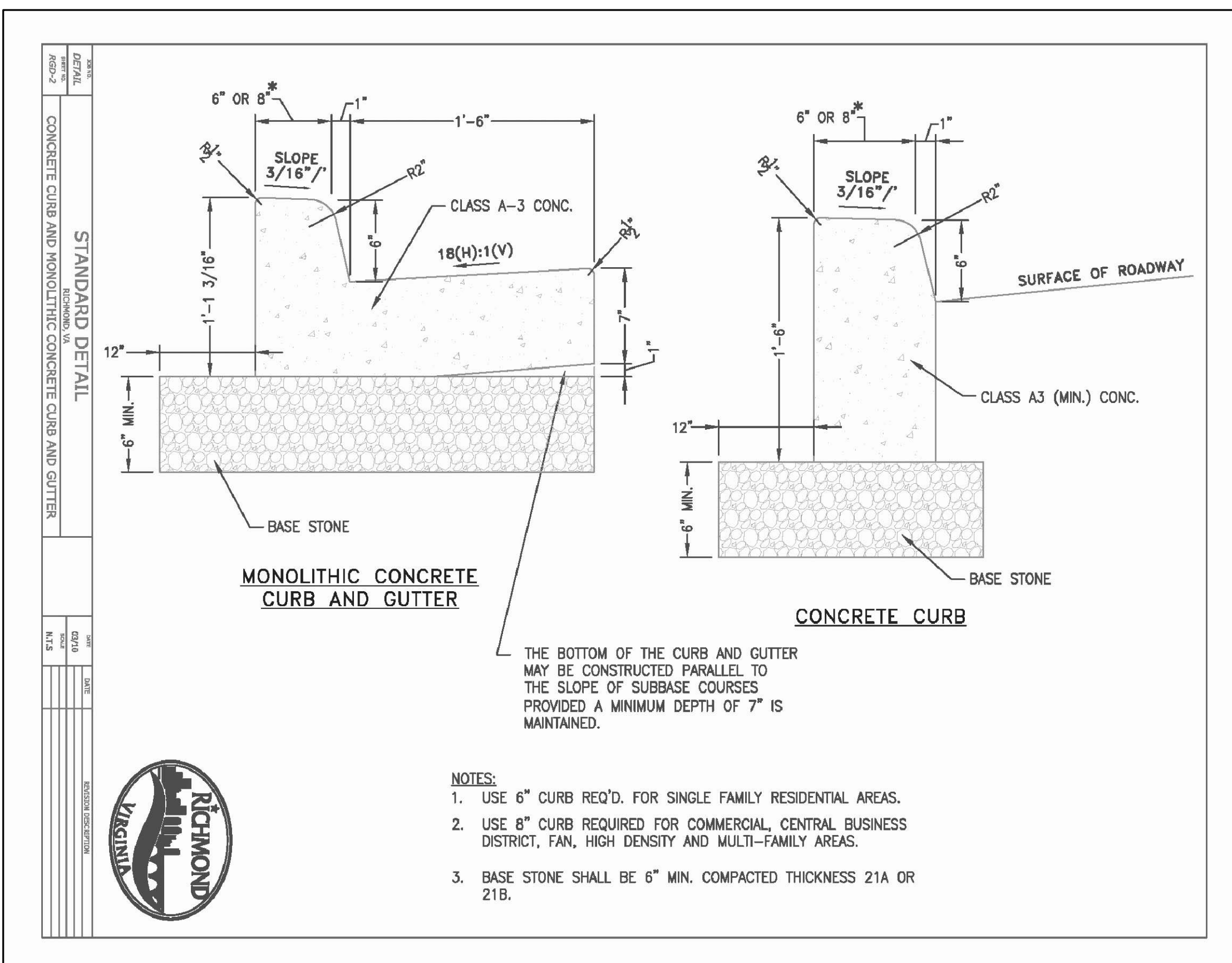
DRAWN BY DJL
DESIGNED BY DJL
CHECKED BY CMS
DATE 05-17-2013
SCALE 1"=20'

REVISIONS:
10-11-13
10-21-13

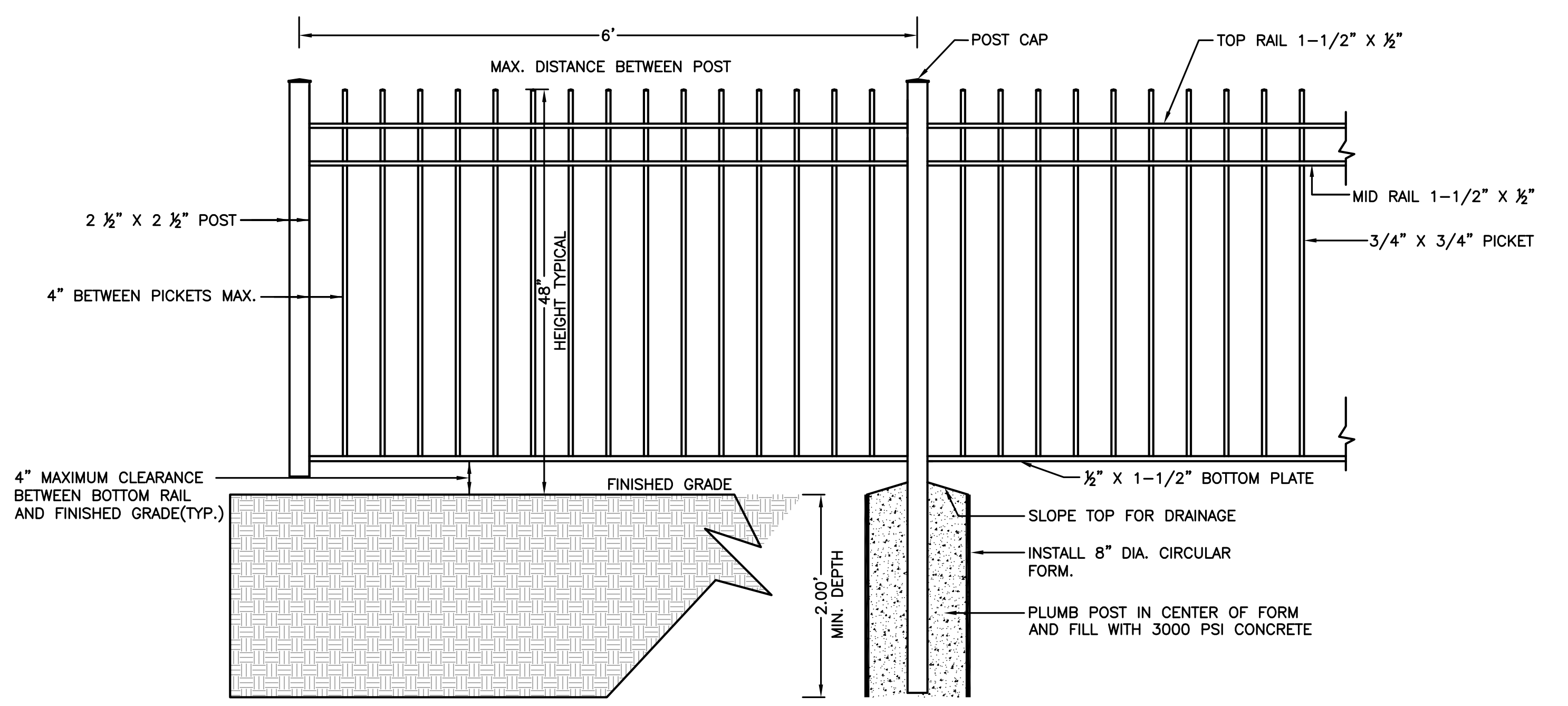
SHEET NO.

C4

JOB NO. C1300147.00

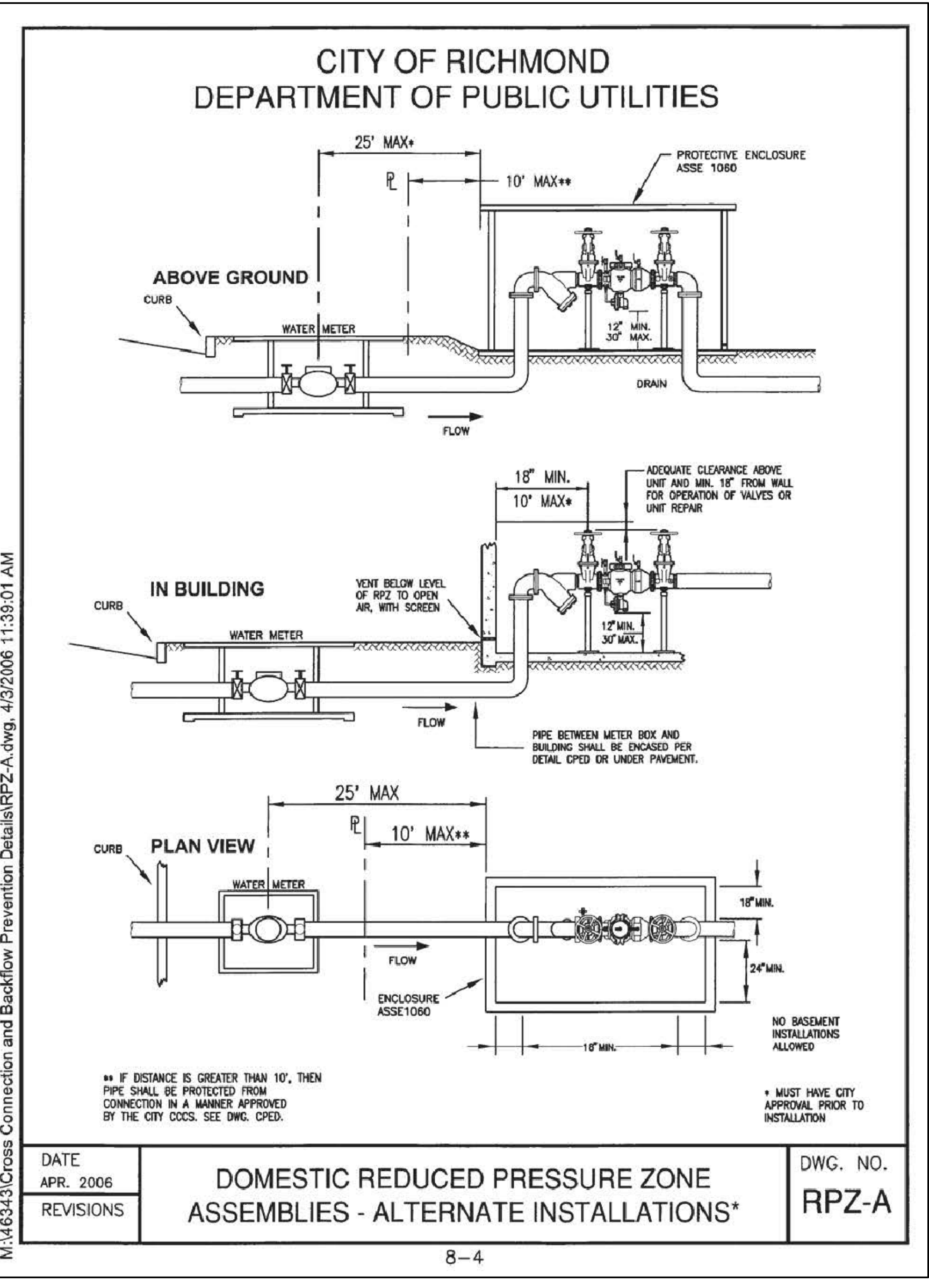


CG-2=CITY CONCRETE CURB



4.0' ALUMINUM PICKET FENCE DETAIL N.T.S.

NOTES:
1. ALL MATERIAL SHALL BE ALUMINUM WITH EXTERIOR GRADE POWER COATED FINISH BLACK IN COLOR.
2. SEE LAYOUT PLAN FOR FENCE LOCATION



Curb Inlet Drain Filters
88.2% Reduction in Total Suspended Solids
87.4% Reduction in Hydrocarbons



Gutterbuddy™ Curb Inlet and Ditch Pavement Filters

- Gutterbuddy™ Advantages**
- Easy to transport, install and maintain
 - Keeps out sand, asphalt millings and other fine sediment
 - Available in regular and super flow
 - Washable
 - Reusable

Gutterbuddy™ Curb Inlet Filters effectively prevent sediment, debris and other pollutants from entering storm water systems. The filtering action lets water freely flow through the fibrous material while stopping sediment and debris. Built-in overflows drain water even more quickly during extreme events.

Long lasting Gutterbuddy™ Curb Inlet Filters are 9" in diameter and can be purchased in 4', 6', 8', 10', 12', 14" and 16" lengths. These inlet filters are flexible enough to conform to any curb radius, allowing for quick and easy installation.

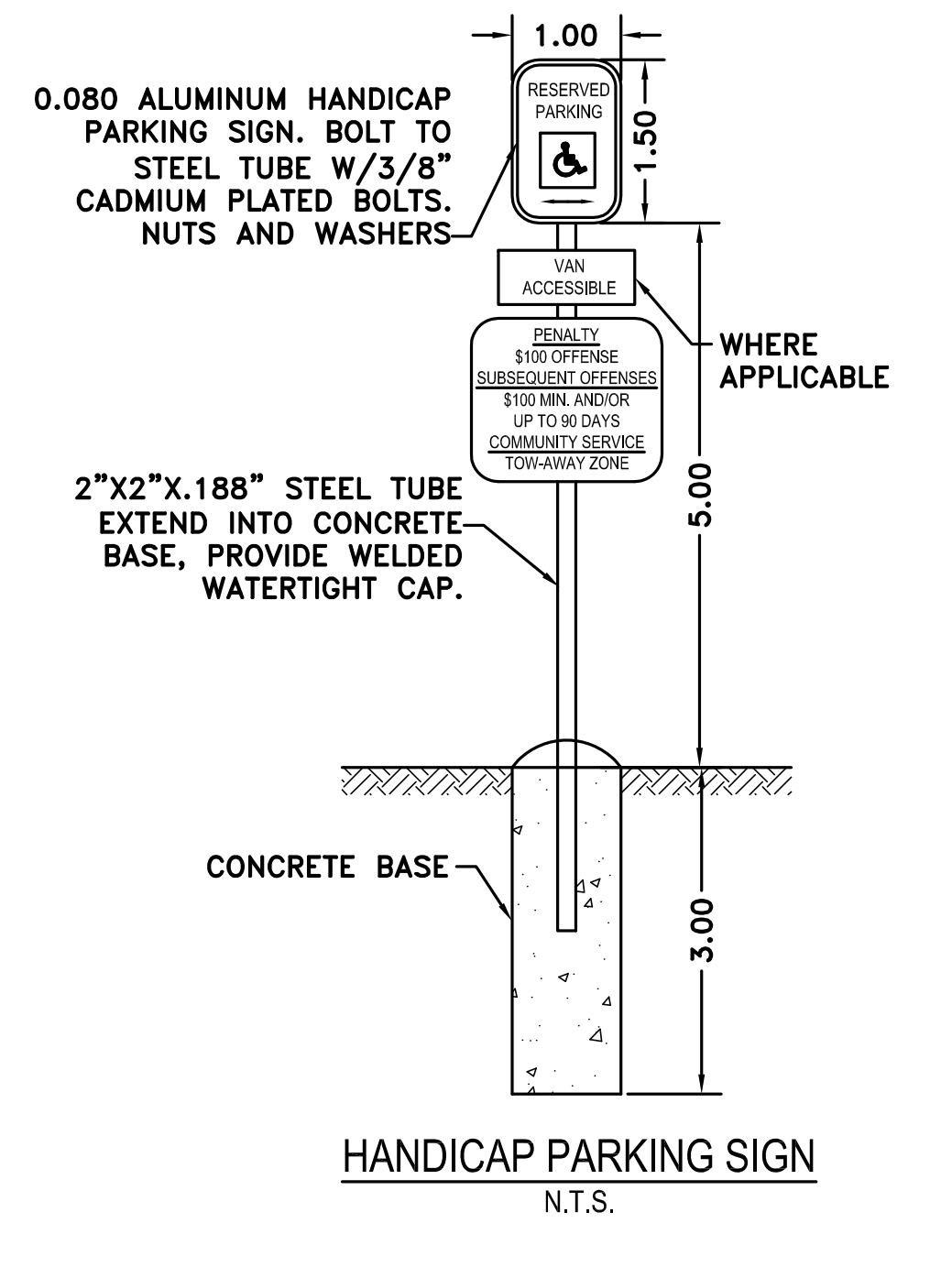
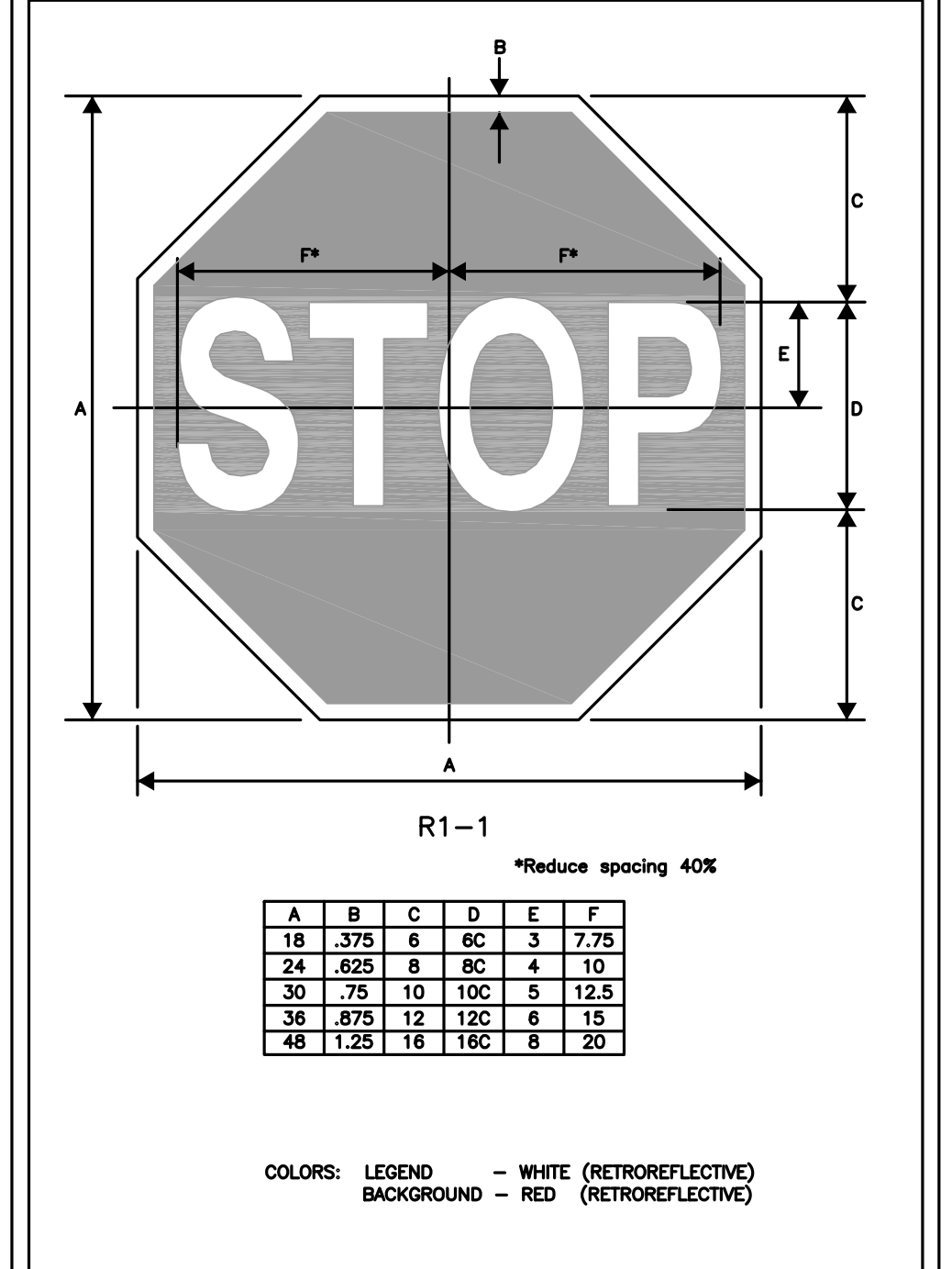
Gutterbuddy™ Ditch Pavement Filters effectively prevent sediment, debris and other pollutants from entering storm water systems or other areas that ditch pavement is used to channel water runoff. Their filtering action lets water freely flow through the fibrous material while stopping sediment and debris. Each ditch pavement filter comes with a stake hole at each end and has bendable steel in the middle of the fabric that allows it to conform to all types of ditch pavement.

For more information about Gutterbuddy™ Curb Inlet and Drainage Ditch Filters, call your ACF Environmental or SI Geosolutions distributor.

PROBLEM:



SOLUTION:

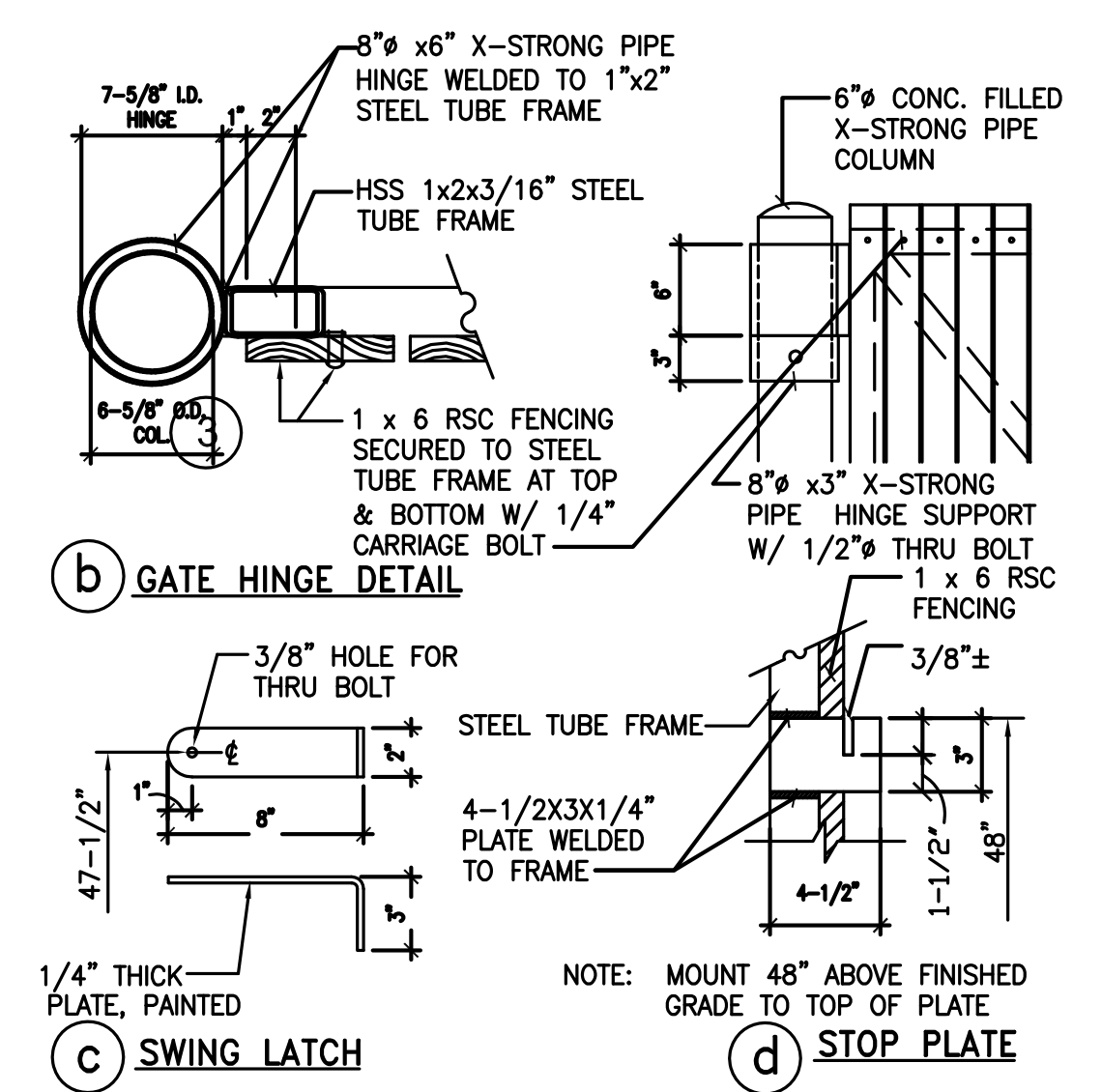
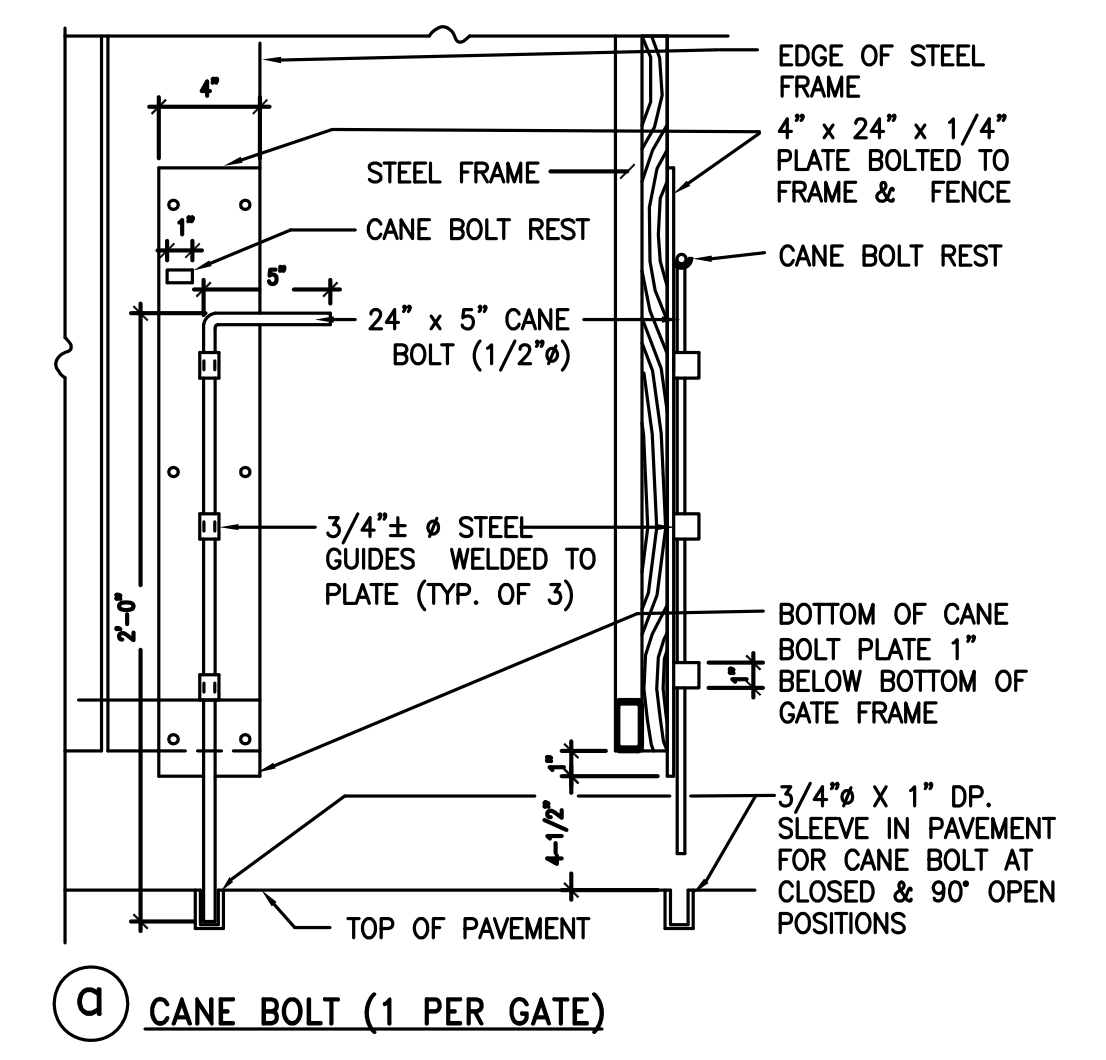
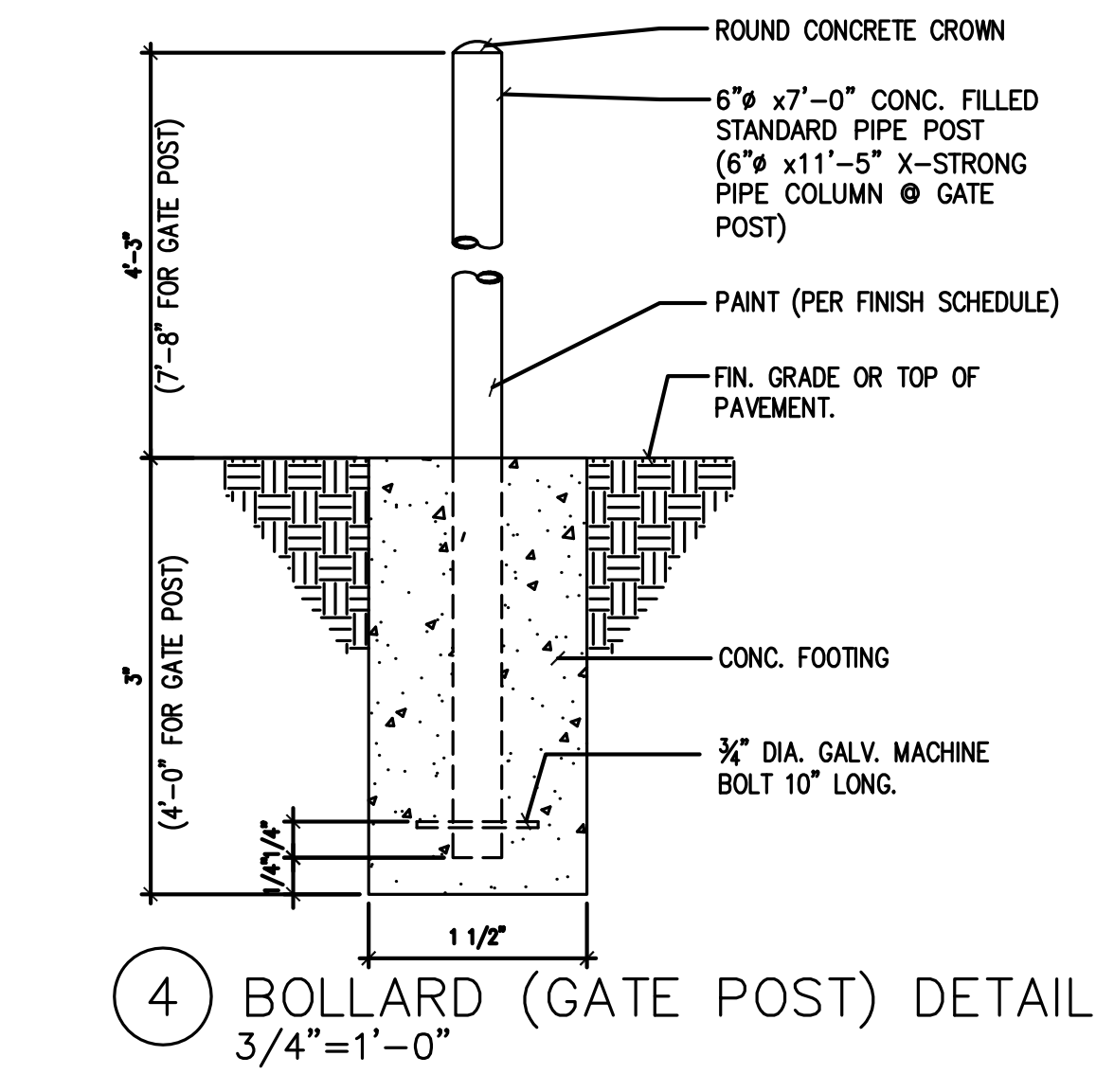
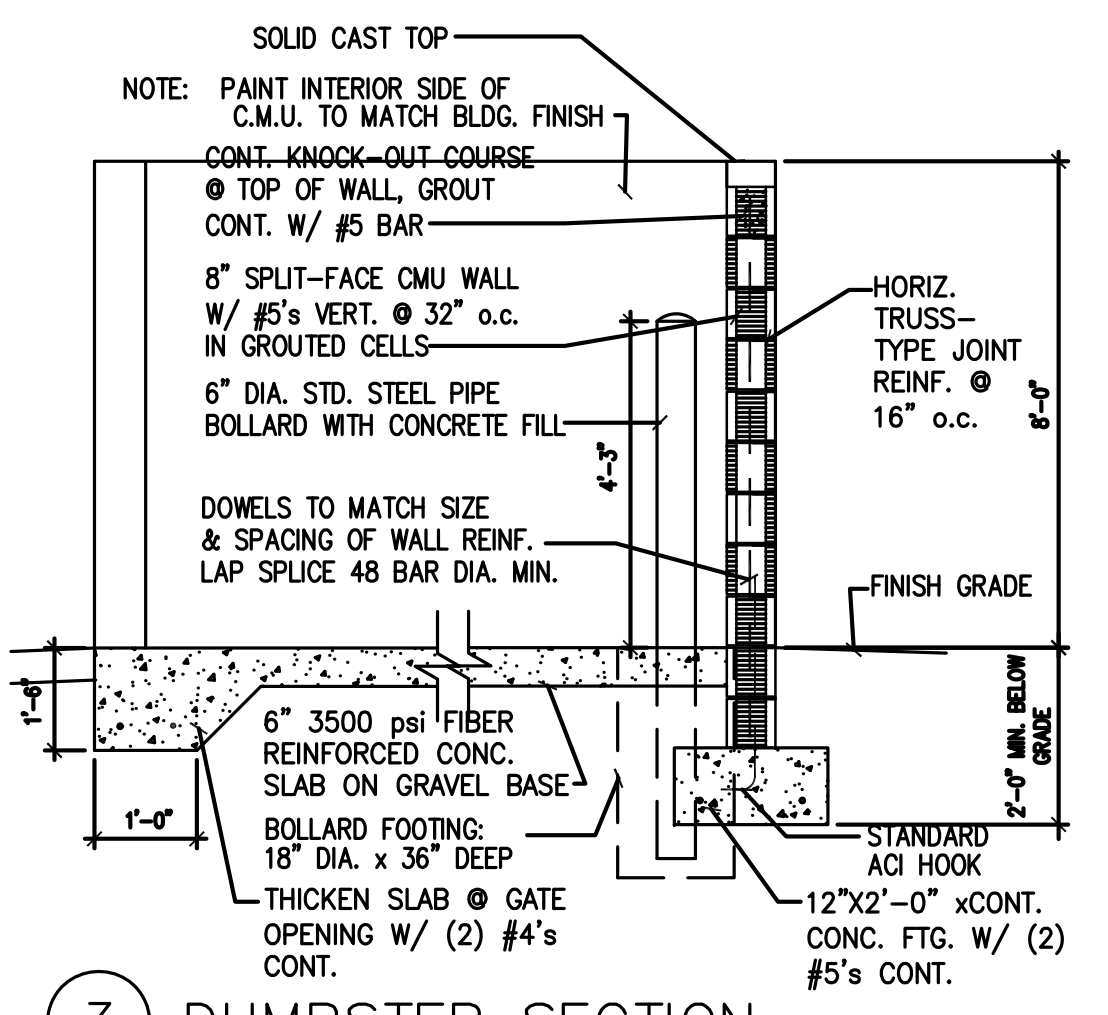
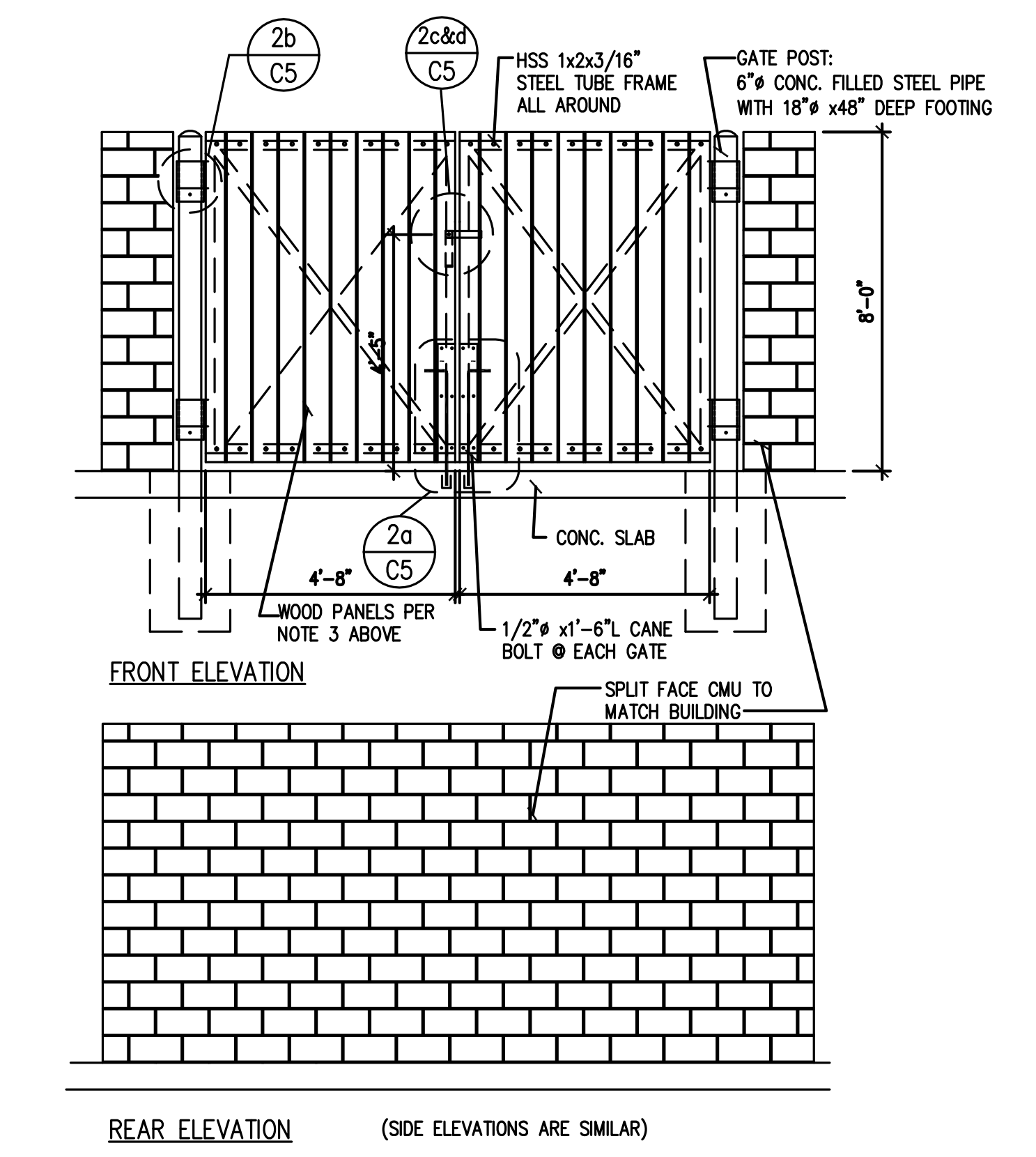
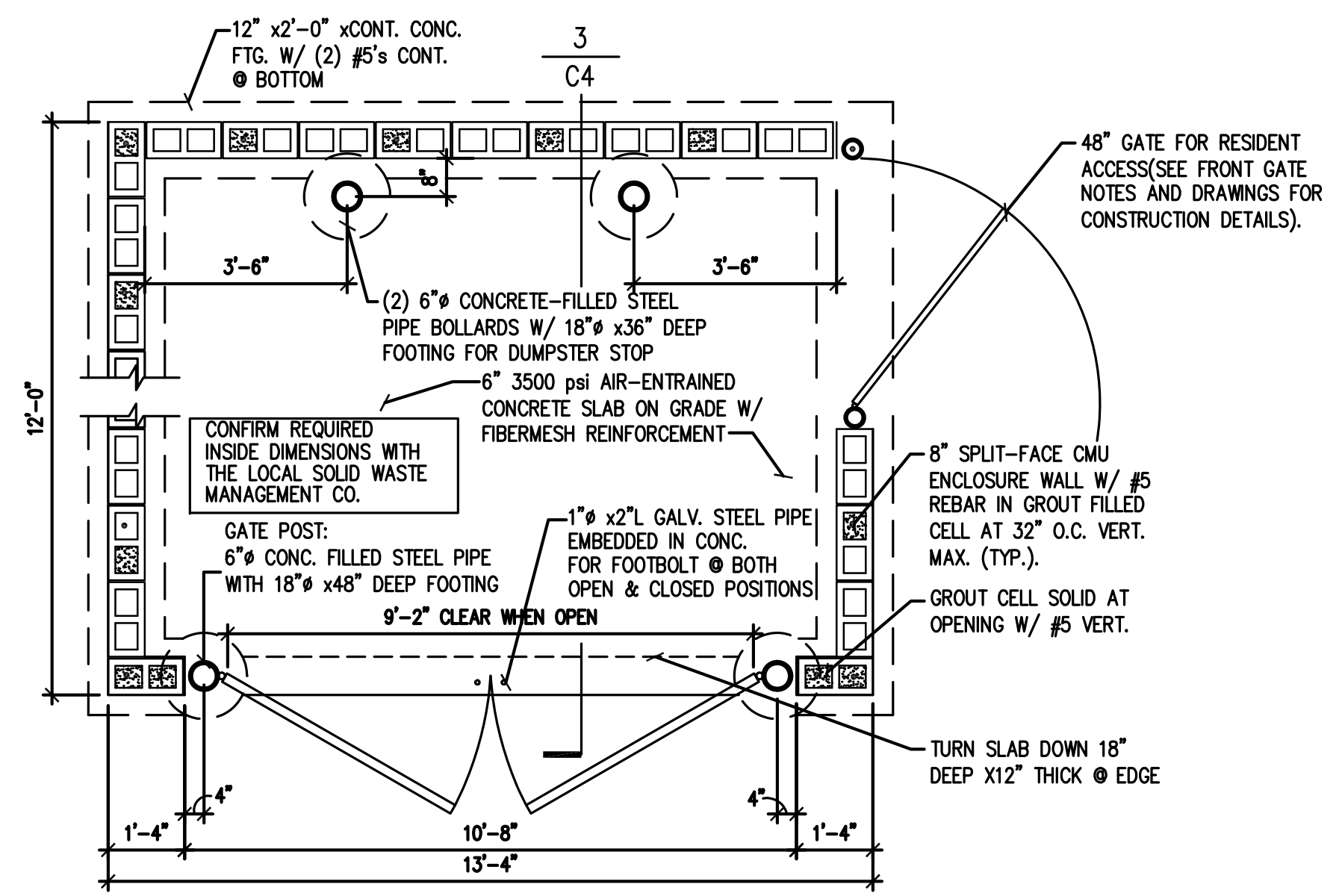


3805 CUTSHAW AVE
DETAILS-1
WEST END-1ST DISTRICT
CITY OF RICHMOND, VIRGINIA

DRAWN BY DJL
DESIGNED BY DJL
CHECKED BY CMS
DATE 05-17-2013
SCALE NTS
REVISIONS:
10-10-13

SHEET NO. C5
JOB NO. C1300147.00

- GEN. NOTES**
- 1) 6" DIA STEEL POSTS SHALL BE SET A MINIMUM OF 36" INTO CONCRETE.
 - 2) COLOR OF CMU TO MATCH THE BUILDING, U.N.O.
 - 3) INSTALL 1x6 BOARDS 3" APART. PAINT DUMPSTER GATE WOOD BOARDS, POST, HINGES AND ACCESSORIES AS SPECIFIED ON "EXTERIOR FINISH SCHEDULE". ALL WOOD BOARD SHALL BE #1 CEDAR OR REDWOOD.



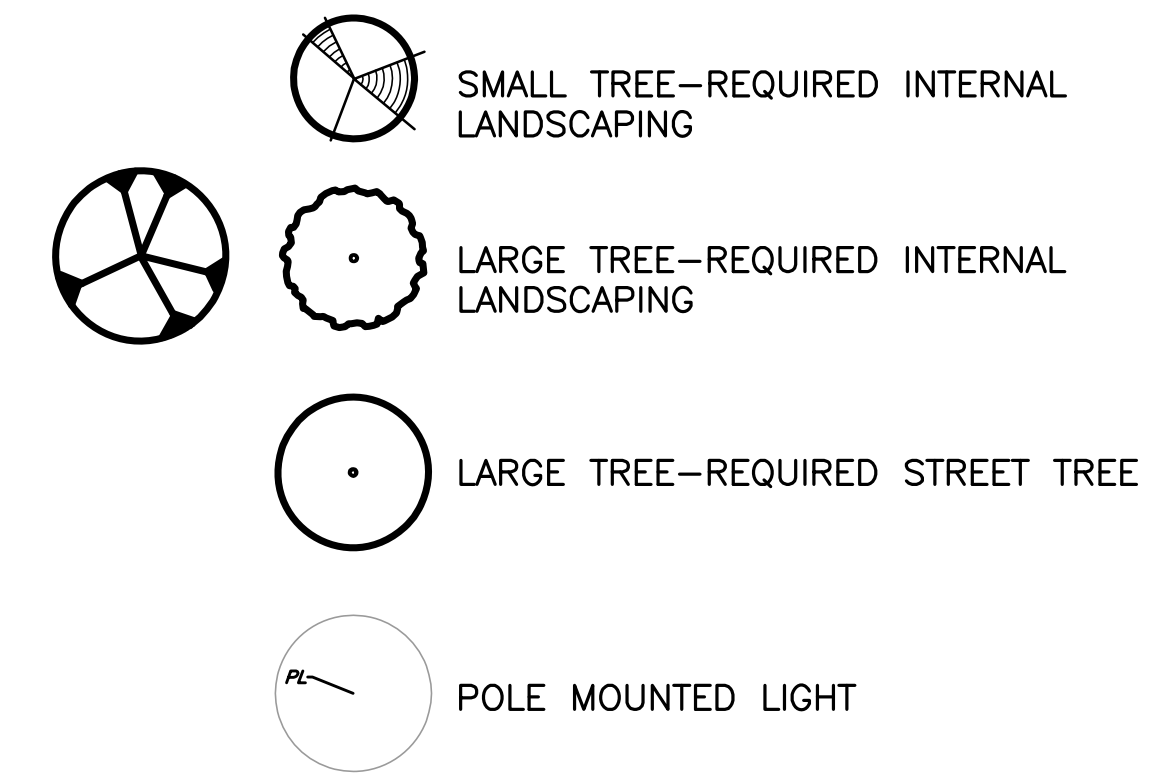
GENERAL NOTES

- SITE ADDRESS: 3805 CUTSHAW AVE
RICHMOND, VIRGINIA 23230
- CLIENT: CA HARRISON COMPANIES
5301 WESTBARD CIRCLE, SUITE 147
BETHESDA, MD 20816
PHONE: (301) 202-4477
EMAIL: INFO@CAHARRISONCOMPANIES.COM
CONTACT: MR. CHRIS HARRISON
- AGENT: BALZER AND ASSOCIATES, INC.
15871 CITY VIEW DRIVE
SUITE 200
MIDLOTHIAN, VA 23113
PHONE: (804)-794-0571
FAX: (804)-794-2635
CONTACT: DAVID LISOWSKI, R.L.A.
- ARCHITECT: ARCHITECTURE DESIGN OFFICE
105 EAST BROAD STREET
RICHMOND, VA 23219
PHONE: (804) 343-1212
CONTACT: MR. TODD DYKSHORN
- USE: APARTMENTS
- ZONING: RO-2 SPECIAL USE PERMIT
- TAX PARCEL NO.: W0001717011
- SITE AREA: 1.292 ACRES
DISTURBED AREA: 0.078 ACRES(3,378 SF)
- WATER: CITY
- SEWER: CITY
- BUILDING AREA/NO. OF STORIES: FIVE FLOORS = 66,520 SF
BASEMENT FLOOR = 2,496 SF
- PARKING REQUIRED: 66 SPACES; 1 SPACE PER UNIT
- PARKING PROVIDED: 66 SPACES (3 ADA SPACES)(13 COMPACT SPACES)
- SURFACE PARKING AREA LANDSCAPE
REQUIRED: ONE LANDSCAPE ISLAND PER 15 SPACES + AN ISLAND AT THE
EACH ROW ADJACENT TO ACCESS AISLES AND DRIVEWAYS.
PROVIDED: AS SHOWN

3805 CUTSHAW AVE PLANT SCHEDULE

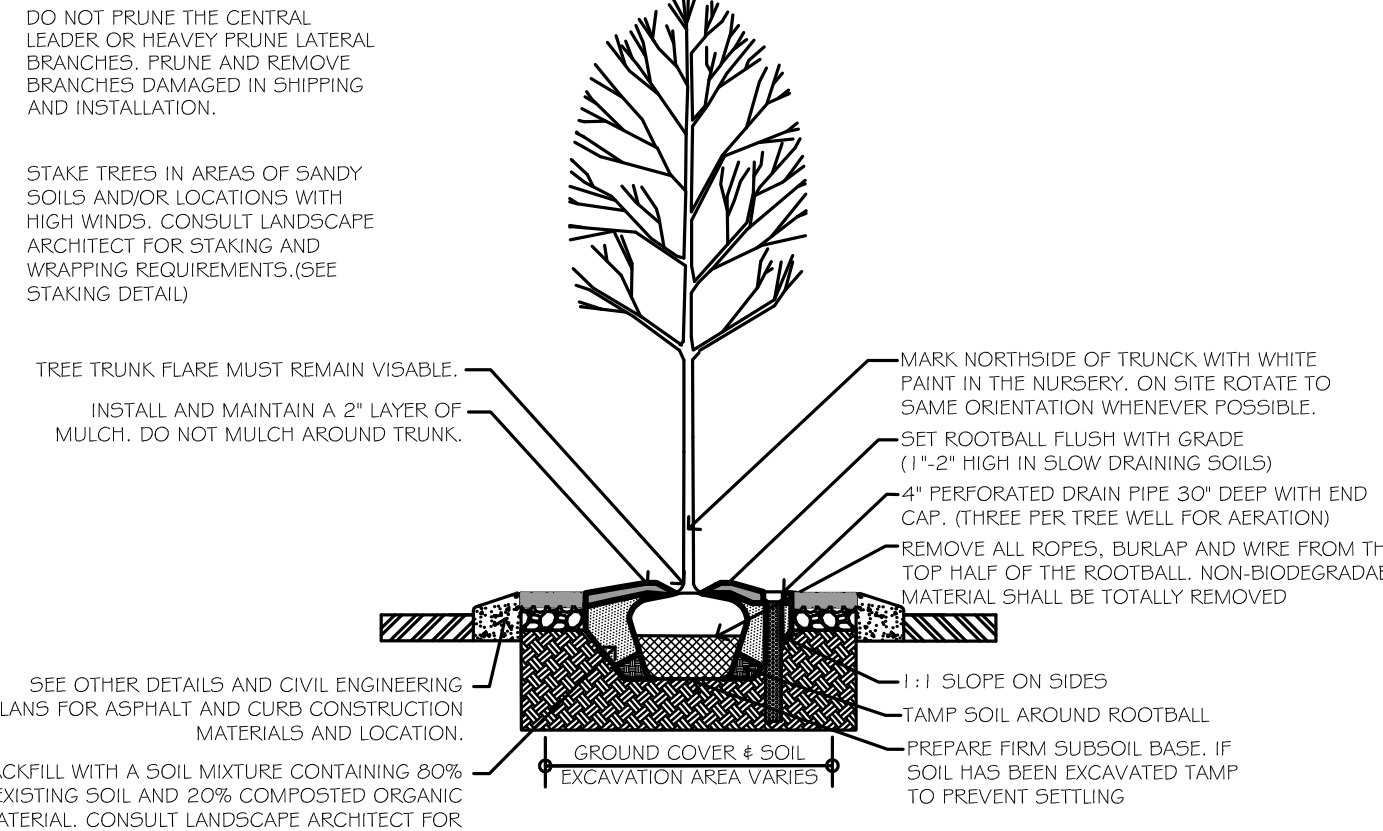
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT X SPREAD	CALIPER	ROOTS
JC	32	Juniperus chinensis 'Sargentii'	Sargents Juniper	12" x 18"		3 Gal.
MG	2	Metasequia glyptostroboides	Dawn Redwood	8'-10' X 3'-4' MIN.	2-1/2" CAL.	B&B
AG	1	Acer ginnala	Amur Maple	8' X 3' MIN	2-1/2" CAL.	B&B
PO	3	Platanus occidentalis	Sycamore	8'-10' X 3'-4' MIN.	2-1/2" CAL.	B&B
NS	3	Nyssa sylvatica	Black Gum	8'-10' X 3'-4' MIN.	2-1/2" CAL.	B&B

LEGEND



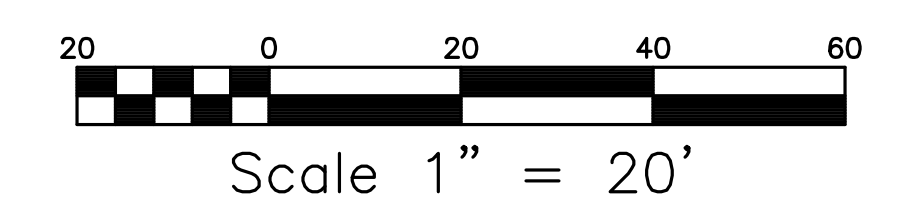
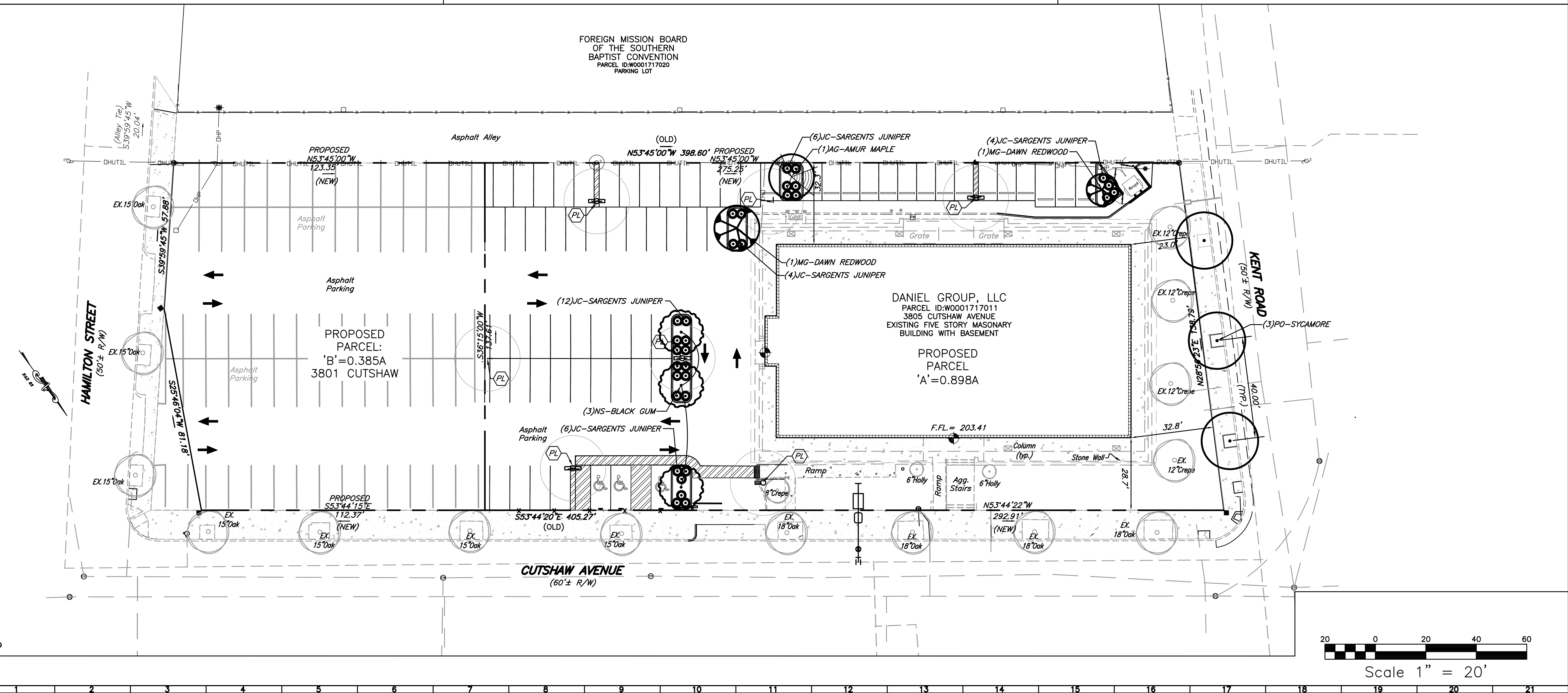
NOTES:

- EXISTING TREES TO REMAIN.
- PLANT THREE SYCAMORE TREES ALONG KENT ROAD IN LOCATIONS SHOWN. TREES SHALL BE A MINIMUM OF 2-1/2" CALIPER BALLED AND BURLAPED STOCK 8'-10' TALL.



TREE PLANTING DETAIL FOR LANDSCAPE ISLANDS

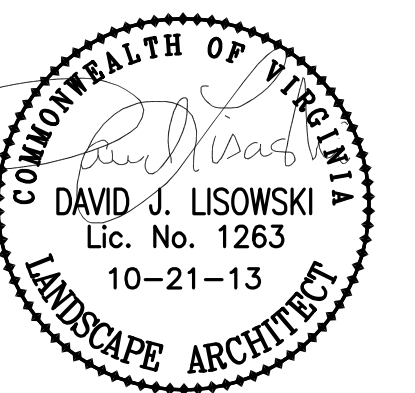
FOREIGN MISSION BOARD
OF THE SOUTHERN
BAPTIST CONVENTION
PARCEL ID: W0001717020
PARKING LOT



www.balzer.cc
Richmond
New River Valley
Roanoke
Shenandoah Valley

RESIDENTIAL LAND DEVELOPMENT ENGINEERING
SITE DEVELOPMENT ENGINEERING
LAND USE PLANNING & ZONING
LANDSCAPE ARCHITECTURE
LAND SURVEYING
ARCHITECTURE
STRUCTURAL ENGINEERING

Balzer and Associates, Inc.
15871 City View Drive
Suite 200
Midlothian, VA 23113
804-794-0571
FAX 804-794-2635



3805 CUTSHAW AVE
LANDSCAPE PLAN
WEST END-1ST DISTRICT
CITY OF RICHMOND, VIRGINIA

DRAWN BY DJL
DESIGNED BY DJL
CHECKED BY CMS
DATE 08-22-2013
SCALE 1"=20'
REVISIONS:
10-11-2013
10-21-2013

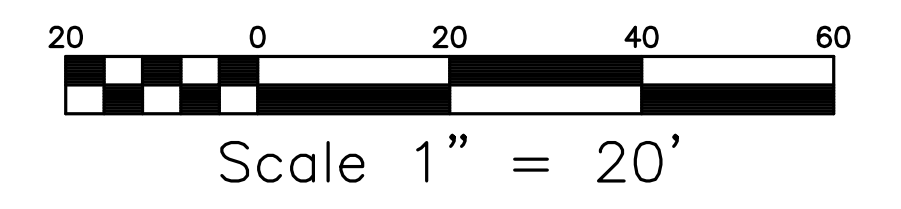
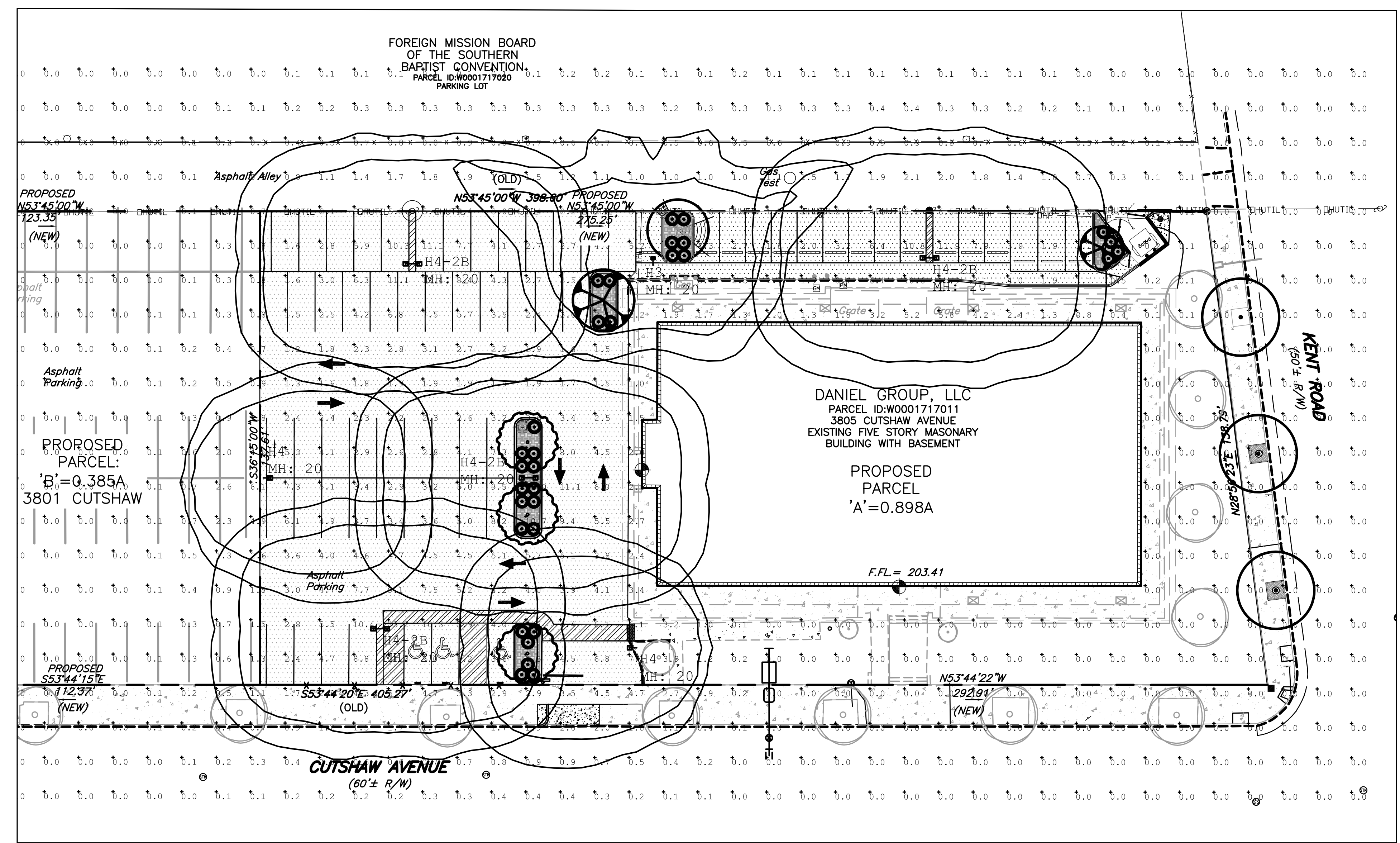
SHEET NO.
L1
JOB NO. C1300147.00

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	[MANUFAC]	Description
	2	H4	SINGLE	22500	0.750	SPAULDING LIGHTING	RCS-x-P25-H4
	1	H3	SINGLE	22500	0.750	SPAULDING LIGHTING	RCS-x-P25-H3
	4	H4-2B	BACK-BACK	22500	0.750	SPAULDING LIGHTING	RCS-x-P25-H4

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Object Planar	Illuminance	Fc	1.10	13.2	0.0	N.A.	N.A.
Parking Lot	Illuminance	Fc	4.62	13.2	0.7	6.60	18.86

Prepared by:
 LIGHTING VIRGINIA CENTRAL
 400G-2 Southlake Blvd.
 Richmond, VA 23236
 Tel: 804-379-7777
 www.lightingvirginia.com
 NOTES:

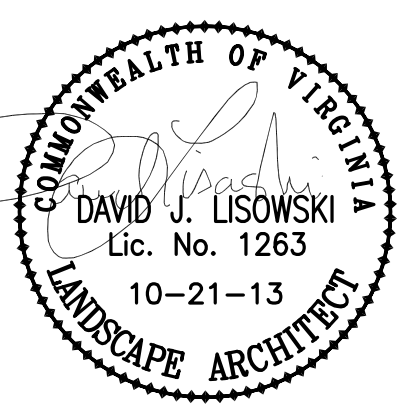
- NO ALTERATIONS OR MODIFICATIONS SHALL BE MADE TO THIS PLAN WITHOUT THE PERMISSION OF LIGHTING VIRGINIA.
- THE OUTPUT ON THIS PHOTOMETRIC LAYOUT IS SPECIFIC TO THE MANUFACTURER AND CATALOG NUMBERS LISTED IN THE LUMINAIRE SCHEDULE. SUBSTITUTIONS OR DEVIATIONS FROM THIS PLAN MAY INCURE SIGNIFICANTLY DIFFERENT RESULTS. ANY SUBSTITUTIONS MUST RECEIVE ENGINEER AND ARCHITECT APPROVAL. REVIEW COSTS, REWORKED PHOTOMETRIC LAYOUTS, PRODUCT SUBMITTALS AND A FULL SET OF ITL REPORTS WILL SOLELY BE THE RESPONSIBILITY OF ANY CONTRACTING FIRM MAKING A SUBSTITUTION, AND MUST COMPLY WITH DESIGN CRITERIA AND WITH ANY APPLICABLE JURISDICTIONAL CODES.
- SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.
- LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS AND SUPPLIED BY OTHERS TO LIGHTING VIRGINIA. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.
- CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.
- CHECK GRAPHIC SCALE. DOCUMENTS PRINTED OR PLOTTED FROM ELECTRONIC FILES MAY OCCUR AT OTHER THAN THE DESIRED OR ASSUMED GRAPHIC SCALES. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THAT THE PRINTED OR PLOTTED-TO-SCALE DRAWING IS PRINTED TO SCALE.



www.balzer.cc
 Richmond
 New River Valley
 Roanoke
 Shenandoah Valley

RESIDENTIAL LAND DEVELOPMENT ENGINEERING
 SITE DEVELOPMENT ENGINEERING
 LAND USE PLANNING & ZONING
 LANDSCAPE ARCHITECTURE
 LAND SURVEYING
 ARCHITECTURE
 STRUCTURAL ENGINEERING

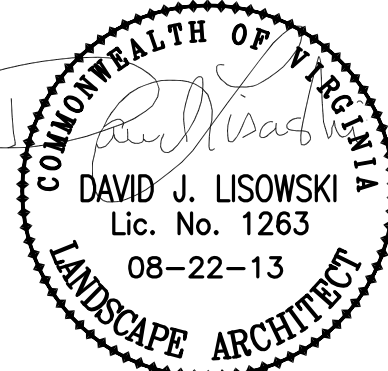
Balzer and Associates, Inc.
 15871 City View Drive
 Suite 200
 Midlothian, VA 23113
 804-794-0571
 FAX 804-794-2635



3805 CUTSHAW AVE
 LIGHTING PLAN
 WEST END-1ST DISTRICT
 CITY OF RICHMOND, VIRGINIA

DRAWN BY DJL
 DESIGNED BY DJL
 CHECKED BY CMS
 DATE 08-22-2013
 SCALE 1"=20'
 REVISIONS:
 10-11-13
 10-21-13

SHEET NO.
L2
 JOB NO. C1300147.00



Qty Type MFG Part
1 H3 Spaulding Lighting RCS-A4-P25-H3-F-Q-XX
2 H4 Spaulding Lighting RCS-A4-P25-H4-F-Q-XX
3 H4-2B Spaulding Lighting (2)RCS-A4-P25-H4-F-Q-XX
4 SINGLE POLE American Lite Pole SNS-17.5-40-11-AB-PC(XX)-DM19-FBC
4 TWIN POLES American Lite Pole SNS-17.5-40-11-AB-PC(XX)-DM28-FBC

Submitted by Lighting Virginia Central
Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H3
Notes: Catalog Number: RCS-A4-P25-H3-F-Q-XX
Type: H3

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H3
Notes: Catalog Number: RCS-A4-P25-H3-F-Q-XX
Type: H3

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H3
Notes: Catalog Number: RCS-A4-P25-H3-F-Q-XX
Type: H3

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H3
Notes: Catalog Number: RCS-A4-P25-H3-F-Q-XX
Type: H3

RAVEN SMALL RCS SERIES
APPLICATIONS
Features
Listings/Certifications
ORDERING INFORMATION

ORDERING INFORMATION
RCS - A4 - P25 - H3 - F - Q - XX

SERIES
MOUNT
ARM MOUNT
WALL BRACKET
W80A
W810
WATTAGE/SOURCE
PULSE START METAL HALIDE
LAMP ORIENTATION/DISTRIBUTION
LENS
COLOR
OPTIONS

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H3
Notes: Catalog Number: RCS-A4-P25-H3-F-Q-XX
Type: H3

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H3
Notes: Catalog Number: RCS-A4-P25-H3-F-Q-XX
Type: H3

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H3
Notes: Catalog Number: RCS-A4-P25-H3-F-Q-XX
Type: H3

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H3
Notes: Catalog Number: RCS-A4-P25-H3-F-Q-XX
Type: H3

RAVEN SMALL RCS SERIES
APPLICATIONS
Features
Listings/Certifications
ORDERING INFORMATION

ORDERING INFORMATION
RCS - A4 - P25 - H4 - F - Q - XX

SERIES
MOUNT
ARM MOUNT
WALL BRACKET
W80A
W810
WATTAGE/SOURCE
PULSE START METAL HALIDE
LAMP ORIENTATION/DISTRIBUTION
LENS
COLOR
OPTIONS

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H4
Notes: Catalog Number: RCS-A4-P25-H4-F-Q-XX
Type: H4

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H4
Notes: Catalog Number: RCS-A4-P25-H4-F-Q-XX
Type: H4

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H4
Notes: Catalog Number: RCS-A4-P25-H4-F-Q-XX
Type: H4

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H4
Notes: Catalog Number: RCS-A4-P25-H4-F-Q-XX
Type: H4

RAVEN SMALL RCS SERIES
APPLICATIONS
Features
Listings/Certifications
ORDERING INFORMATION

ORDERING INFORMATION
RCS - A4 - P25 - H4 - F - Q - XX

SERIES
MOUNT
ARM MOUNT
WALL BRACKET
W80A
W810
WATTAGE/SOURCE
PULSE START METAL HALIDE
LAMP ORIENTATION/DISTRIBUTION
LENS
COLOR
OPTIONS

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H4
Notes: Catalog Number: RCS-A4-P25-H4-F-Q-XX
Type: H4

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H4
Notes: Catalog Number: RCS-A4-P25-H4-F-Q-XX
Type: H4

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H4
Notes: Catalog Number: RCS-A4-P25-H4-F-Q-XX
Type: H4

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H4
Notes: Catalog Number: RCS-A4-P25-H4-F-Q-XX
Type: H4

RAVEN SMALL RCS SERIES
APPLICATIONS
Features
Listings/Certifications
ORDERING INFORMATION

ORDERING INFORMATION
RCS - A4 - P25 - H4 - F - Q - XX

SERIES
MOUNT
ARM MOUNT
WALL BRACKET
W80A
W810
WATTAGE/SOURCE
PULSE START METAL HALIDE
LAMP ORIENTATION/DISTRIBUTION
LENS
COLOR
OPTIONS

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H4-2B
Notes: Catalog Number: (2)RCS-A4-P25-H4-F-Q-XX
Type: H4-2B

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H4-2B
Notes: Catalog Number: (2)RCS-A4-P25-H4-F-Q-XX
Type: H4-2B

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H4-2B
Notes: Catalog Number: (2)RCS-A4-P25-H4-F-Q-XX
Type: H4-2B

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H4-2B
Notes: Catalog Number: (2)RCS-A4-P25-H4-F-Q-XX
Type: H4-2B

RAVEN SERIES
APPLICATIONS
Features
Listings/Certifications
ORDERING INFORMATION

ORDERING INFORMATION
(2) RCS - A4 - P25 - H4 - F - Q - XX

SERIES
MOUNT
ARM MOUNT
WALL BRACKET
W80A
W810
WATTAGE/SOURCE
PULSE START METAL HALIDE
LAMP ORIENTATION/DISTRIBUTION
LENS
COLOR
OPTIONS

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H4-2B
Notes: Catalog Number: (2)RCS-A4-P25-H4-F-Q-XX
Type: H4-2B

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H4-2B
Notes: Catalog Number: (2)RCS-A4-P25-H4-F-Q-XX
Type: H4-2B

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H4-2B
Notes: Catalog Number: (2)RCS-A4-P25-H4-F-Q-XX
Type: H4-2B

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: H4-2B
Notes: Catalog Number: (2)RCS-A4-P25-H4-F-Q-XX
Type: H4-2B

RAVEN SERIES
APPLICATIONS
Features
Listings/Certifications
ORDERING INFORMATION

ORDERING INFORMATION
(2) RCS - A4 - P25 - H4 - F - Q - XX

SERIES
MOUNT
ARM MOUNT
WALL BRACKET
W80A
W810
WATTAGE/SOURCE
PULSE START METAL HALIDE
LAMP ORIENTATION/DISTRIBUTION
LENS
COLOR
OPTIONS

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: SINGLE POLE
Notes: Catalog Number: SNS-17.5-40-11-AB-PC(XX)-DM19-FBC
Type: SINGLE POLE

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: SINGLE POLE
Notes: Catalog Number: SNS-17.5-40-11-AB-PC(XX)-DM19-FBC
Type: SINGLE POLE

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: SINGLE POLE
Notes: Catalog Number: SNS-17.5-40-11-AB-PC(XX)-DM19-FBC
Type: SINGLE POLE

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: SINGLE POLE
Notes: Catalog Number: SNS-17.5-40-11-AB-PC(XX)-DM19-FBC
Type: SINGLE POLE

Area Lighting Poles - Round Non-Tapered
Pole Chart

BASE PLATE DETAIL

ANCHOR BOLT DETAIL

LOADING CHART

POLE MARK FOR APPROVAL

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: SINGLE POLE
Notes: Catalog Number: SNS-17.5-40-11-AB-PC(XX)-DM19-FBC
Type: SINGLE POLE

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: SINGLE POLE
Notes: Catalog Number: SNS-17.5-40-11-AB-PC(XX)-DM19-FBC
Type: SINGLE POLE

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: SINGLE POLE
Notes: Catalog Number: SNS-17.5-40-11-AB-PC(XX)-DM19-FBC
Type: SINGLE POLE

Job Name: 3805 CUTSHAW AVENUE SITE
Job Type: SINGLE POLE
Notes: Catalog Number: SNS-17.5-40-11-AB-PC(XX)-DM19-FBC
Type: SINGLE POLE

RAVEN SERIES
APPLICATIONS
Features
Listings/Certifications
ORDERING INFORMATION

ORDERING INFORMATION
(2) RCS - A4 - P25 - H4 - F - Q - XX

SERIES
MOUNT
ARM MOUNT
WALL BRACKET
W80A
W810
WATTAGE/SOURCE
PULSE START METAL HALIDE
LAMP ORIENTATION/DISTRIBUTION
LENS
COLOR
OPTIONS

3805 CUTSHAW AVE
LIGHTING DETAILS
WEST END-1ST DISTRICT
CITY OF RICHMOND, VIRGINIA

DRAWN BY DJL

DESIGNED BY DJL

CHECKED BY CMS

DATE 08-22-2013

SCALE NTS

REVISIONS:

SHEET NO.

L3

JOB NO. C1300147.00

PROJECT DESCRIPTION:

RESTORATION AND CHANGE OF USE OF EXISTING COMMERCIAL STRUCTURE FOR MULTI-FAMILY OCCUPANCY

CODE INFORMATION

APPLICABLE CODES:
INTERNATIONAL BUILDING CODE (IBC) 2009
VIRGINIA UNIFORM STATEWIDE BUILDING CODE

CONSTRUCTION TYPE: I-B
USE GROUP: MIXED R-2

EXISTING FIRE AREAS:
BASEMENT R-2 (ACSBY) 2,549sqft
1ST LEVEL A-3/R-2 10,748sqft
2ND-5TH LEVELS R-2 12,444sqft
ROOF LEVEL A-3 3,038sqft
TOTAL 69,357sqft

MAX ALLOWABLE FLOOR AREA(IBC):
R-2 UL SF PER FLOOR

OCCUPANCY CALCULATIONS
MINIMUM EGRESS CAPACITY PER IBC T1004.1.1

A-3 OCCUPANCY:
1ST LEVEL
2,600 SF (15 SF NET / OCC) = 114 OCCUPANTS
ROOF LEVEL
2,882 SF (15 SF NET / OCC) = 133 OCCUPANTS

R-2 OCCUPANCY:
BASEMENT LEVEL (ACCESSORY)
2,549 SF (200 SF / OCC) = 13 OCCUPANTS
1ST LEVEL
8,952 SF (200 SF / OCC) = 45 OCCUPANTS
2ND-5TH LEVEL
12,444 SF (200 SF / OCC) = 63 OCCUPANTS

TOTAL A-3 OCCUPANCY 247 OCCUPANTS
TOTAL R-2 OCCUPANCY 310 OCCUPANTS
TOTAL BUILDING 557 OCCUPANTS

FIRE SAFETY INFORM.

FULLY-SPRINKLERED TYPE NFPA 13

ZONING INFORMATION

ZONING DISTRICT: RO-2
ADJACENCY: RO-2 ALL SIDES

PROPERTY AREA: +/- 54,526 sqft = 1.282 ACRE (TOTAL ON 2 PARCELS)

BUILDING COVERAGE: 21% (NO CHANGE)
PAVED AREA COVERAGE +/- 98% (NO CHANGE)

HEIGHT: (NO CHANGE) APPROX 80'

SETBACKS: (NO CHANGE)

PARKING:
REQUIRED: 66 SPACES
PROVIDED: 66 SPACES (MINIMUM)

ZONING PROVISIONS AND REQUIREMENTS:
SECTION 114-660 REFUSE SCREENING
SECTION 114-710.12 IMPROVEMENTS TO PARKING AREAS

ECONOMIC ZONES: NA
ARCHITECTURAL REVIEW: NONE REQUIRED

SITE PLAN NOTES

(REFER TO ZONING NOTES ABOVE FOR PROPERTY INFORMATION)

1/ EXCEPT WHERE EXISTING PAINTED AREAS ARE NOTED ON THE PLANS, THE ENTIRE SITE IS CONCRETE AND ASPHALT PAVING AND WALKS TO REMAIN AND TO BE STRIPED FOR PARKING AS SHOWN.

2/ EXISTING CURB-CUTS FROM CUTSHAW AVE AND ALONG ALLEY TO THE SOUTH OF THE PROPERTY ARE PROPOSED TO REMAIN AS ARE.

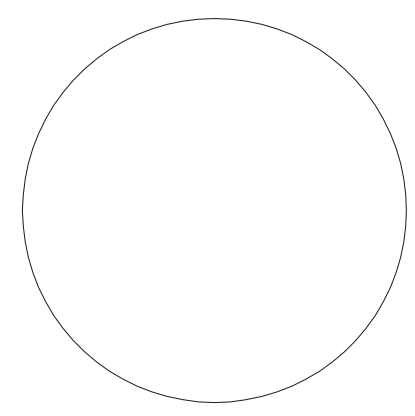
3/ TRASH ENCLOSURE SHOWN IS PROPOSED TO BE STEEL FRAME TO +/- 6'-0" ABOVE GRADE ON ALL SIDES WITH SLATTED WOOD SIDES, BACK AND OPERABLE SWINGING DOOR PANELS.

4/ BUILDING-MOUNTED SIGNAGE AT THE NORTH/CUTSHAW AVE ENTRY AND EAST/PARKING LOT ENTRY IS PROPOSED TO DIRECT TENANTS AND GUESTS TO THE APPROPRIATE ENTRY AND LOBBY.

5/ ALL NEW BUILDING EQUIPMENT INCLUDING HVAC EQUIPMENT TO SERVE REQUESTED OCCUPANCIES IS TO BE LOCATED WITHIN THE STRUCTURE, ROOF-TOP MOUNTED, OR ALONG THE SOUTH ALLEY ADJACENT TO THE STRUCTURE'S RAISED TERRACE WHERE IT WILL BE OUT OF SIGHTLINES FROM THE PRIMARY, CUTSHAW AVE AND KENT ROAD, PUBLIC WAYS.

EXISTING CELL TOWER AND EQUIPMENT-

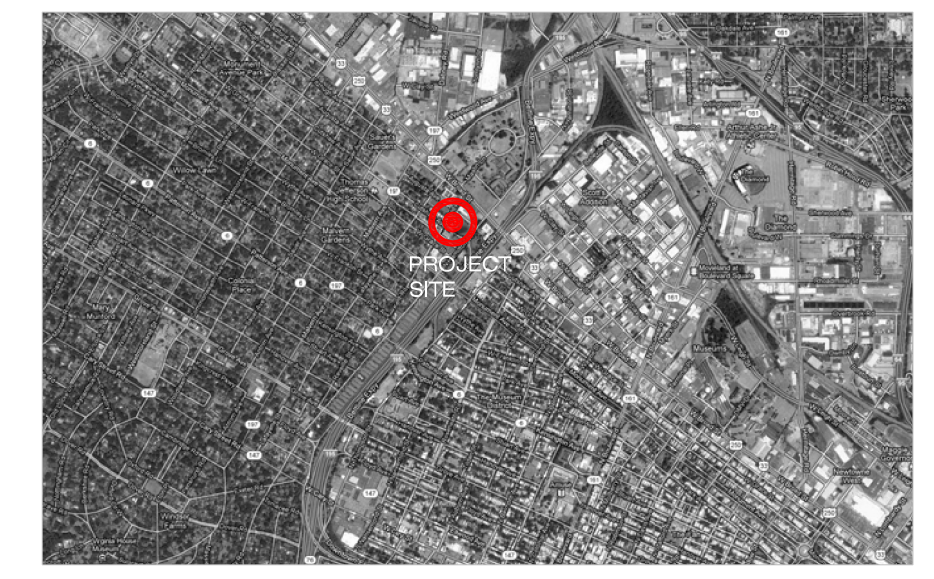
EXISTING CELL TOWER AND RELATED EQUIPMENT TO REMAIN IN PLACE. ALL WORK ON THIS PROJECT TO BE COORDINATED BY OWNER AND CONTRACTED WITH DIRECT CONSULTATION OF CELL TOWER OPERATOR/MANAGER.



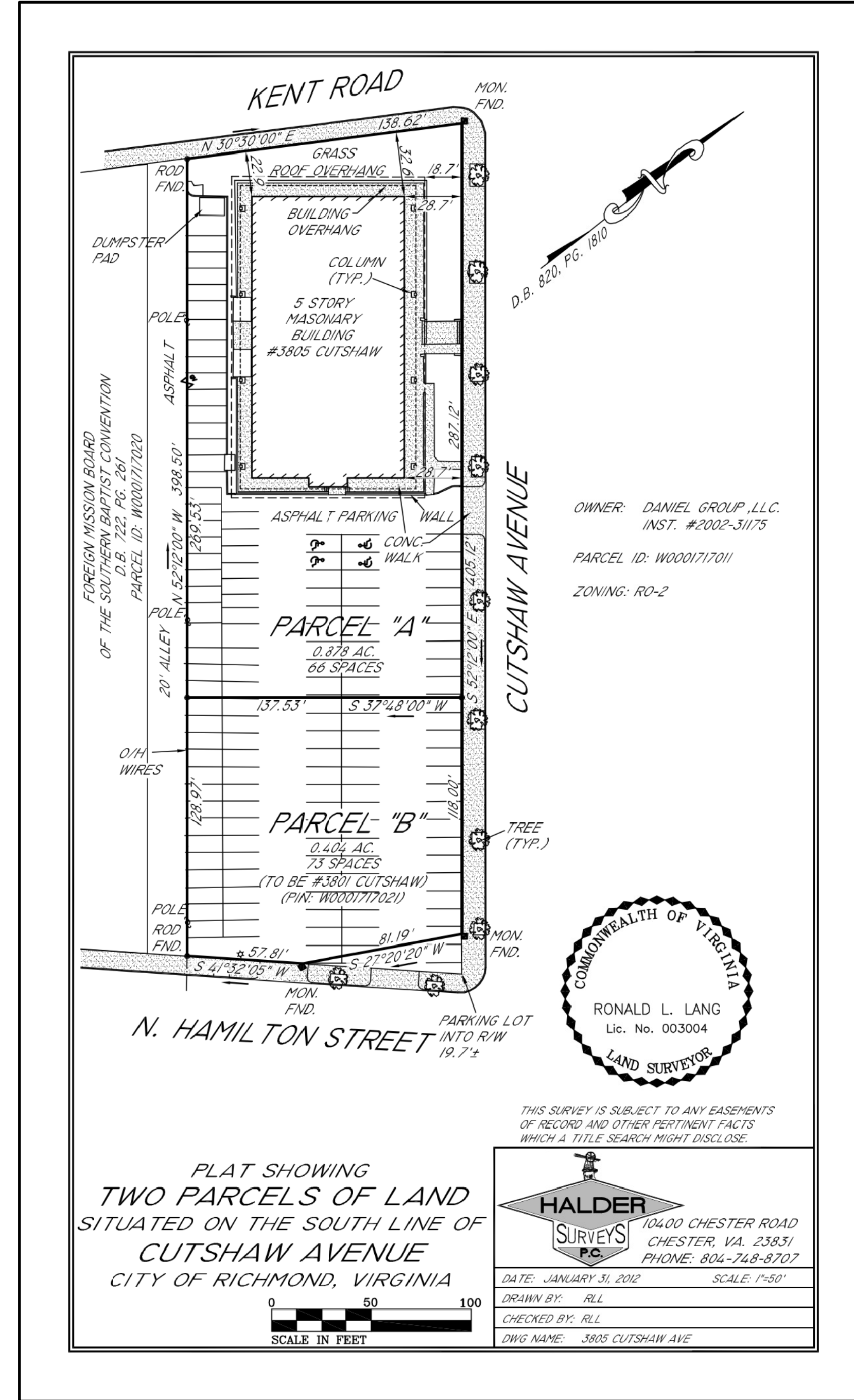
01 13/09/30
RESPONSE TO VHDA COMMENTS
IN LETTER DATED 13/09.11

DRAWING LIST

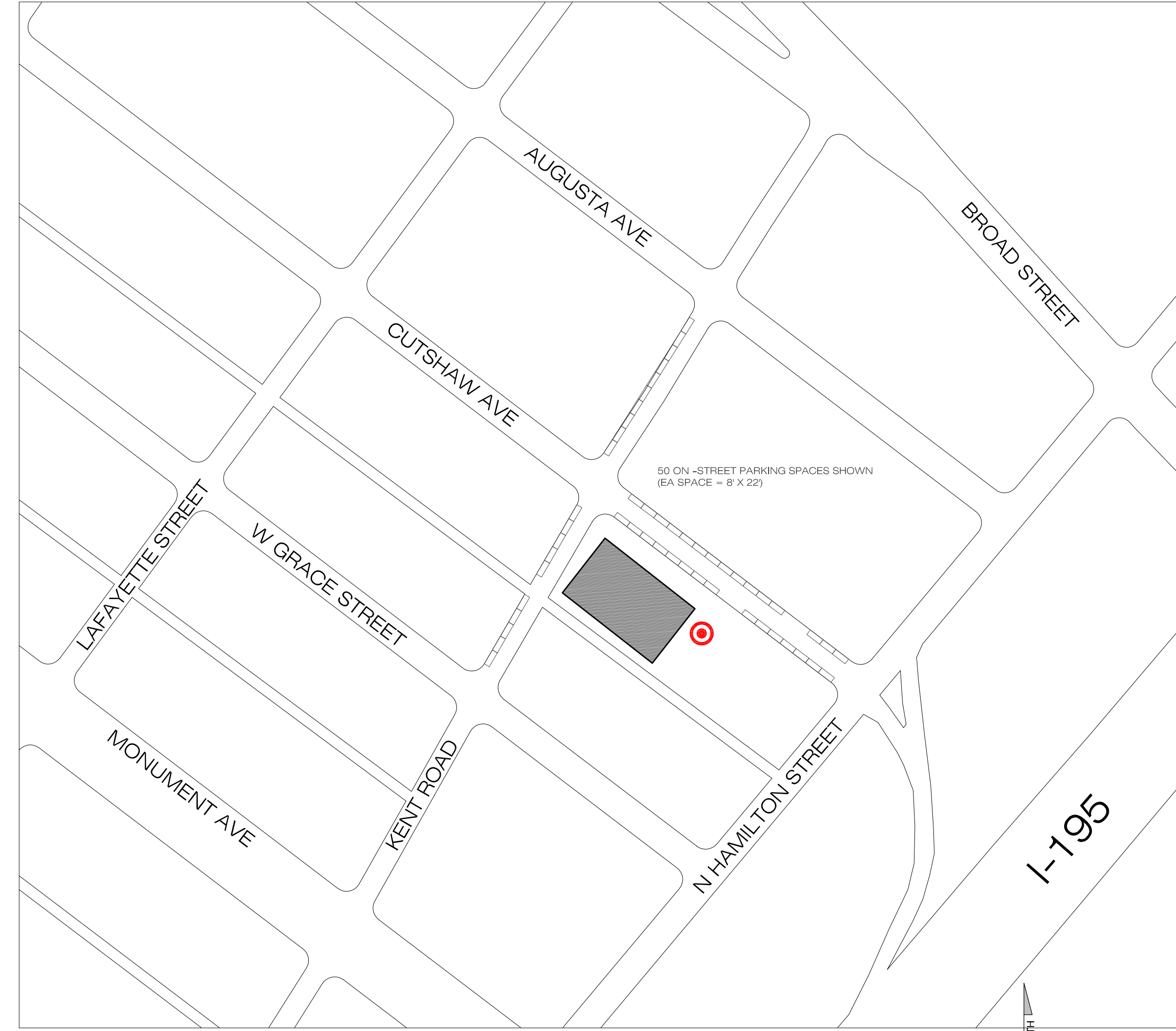
Table listing drawing titles and sheet numbers. Includes categories like Mechanical Notes, Cover & Existing Conditions, Demolition, Landscape, Fire Safety, and Framing Plans.



01 VICINITY MAP
CS 1" = 2000'



02 PROPERTY SURVEY (BY OTHERS)
CS NOT TO SCALE



03 VICINITY PLAN SHOWING ON-STREET PARKING
CS 1" = 128'

Improvements and Alterations at:
THE DANIELS BUILDING
3805 Cutshaw Ave.
Richmond, Virginia
VHDA REVIEW SET
NOT FOR CONSTRUCTION

COVER SHEET/
PROJECT INFORM



VARIES

GENERAL PLAN NOTES

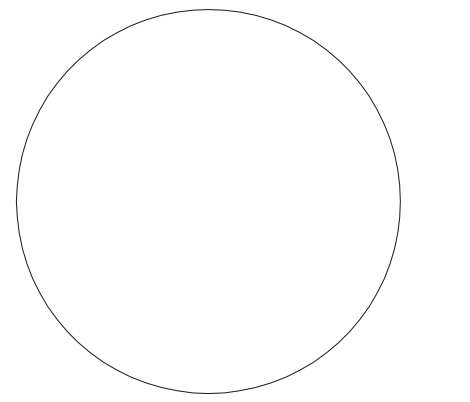
- REFER TO FS1 FOR EGRESS INFORMATION

ARCHITECTURE

DESIGN OFFICE
 105 E BROAD ST
 23219
 804.343.1212
 info@architecturedesignoffice.com

KEY PLAN NOTES

- PROVIDE MTL LINER FOR TRASH CHUTE CONTINUOUS FROM 5TH FLOOR TRASH CHUTE DOOR TO 1ST LEVEL TRASH ROOM, WITH DOORS @ EVERY LEVEL.
- PROVIDE USPS APPROVED SECURED MAIL BOXES FOR 66 UITS AND BUILDING OFFICE
- NEW ELEVATOR CAB AND ALL ASSOCIATED COMPONENTS IN EXISTING ELEVATOR SHAFT. MANUFACTURER TO COORDINATE AND CONFIRM CONDITIONS INCLUDING ELECTRICAL FOR NEW INSTALLATION.
- EXISTING ELEVATOR SHAFT TO BE ABANDONED. COORDINATE INSTALLATION OF ELECTRICAL CONDUIT AS SHOWN IN ELECTRICAL DRAWINGS INCLUDING ALL REQUIRED RATED ENCLOSURES FOR CONDUIT.
- EXISTING VERTICAL CONDUIT FOR CELL TOWER EQUIPMENT TO BE RELOCATED. COORDINATE NEW LOCATION WITHIN PROPOSED NEW CHASES AND/OR FLOOR TO CEILING WALL ASSEMBLIES.



UNIT SCHEDULE:

BASEMENT LEVEL (AMENITY & SERVICE)					1,567 sqft
LEVELS 1-5 RESIDENTIAL					
UNIT	TYPE	AREA	BR	BA	
1ST LEVEL					
01	1-LEVEL	1,210	3	2	
02	1-LEVEL	1,206	3	2	
03	1-LEVEL	1,069	2	2	
04	1-LEVEL	878	1	1	
05	1-LEVEL	878	1	1	
06	1-LEVEL	1,069	2	2	
1ST LEVEL TOTAL					6,310
2ND LEVEL					
07	201	1-LEVEL	613	1	1
08	202	1-LEVEL	588	1	1
09	203	1-LEVEL	588	1	1
10	204	1-LEVEL	588	1	1
11	205	1-LEVEL	588	1	1
12	206	1-LEVEL	783	2	2
13	207	1-LEVEL	851	2	2
14	208	1-LEVEL	562	1	1
15	209	1-LEVEL	562	1	1
16	210	1-LEVEL	851	2	2
17	211	1-LEVEL	781	2	2
18	212	1-LEVEL	880	2	2
19	213	1-LEVEL	715	1	1
20	214	1-LEVEL	725	1	1
21	215	1-LEVEL	784	2	1
2ND LEVEL TOTAL					10,459
3RD LEVEL					
22	301	1-LEVEL	613	1	1
23	302	1-LEVEL	588	1	1
24	303	1-LEVEL	588	1	1
25	304	1-LEVEL	588	1	1
26	305	1-LEVEL	588	1	1
27	306	1-LEVEL	783	2	2
28	307	1-LEVEL	851	2	2
29	308	1-LEVEL	562	1	1
30	309	1-LEVEL	562	1	1
31	310	1-LEVEL	851	2	2
32	311	1-LEVEL	781	2	2
33	312	1-LEVEL	880	2	2
34	313	1-LEVEL	715	1	1
35	314	1-LEVEL	725	1	1
36	315	1-LEVEL	784	2	1
3RD LEVEL TOTAL					10,459
4TH LEVEL					
37	401	1-LEVEL	613	1	1
38	402	1-LEVEL	588	1	1
39	403	1-LEVEL	588	1	1
40	404	1-LEVEL	588	1	1
41	405	1-LEVEL	588	1	1
42	406	1-LEVEL	783	2	2
43	407	1-LEVEL	851	2	2
44	408	1-LEVEL	562	1	1
45	409	1-LEVEL	562	1	1
46	410	1-LEVEL	851	2	2
47	411	1-LEVEL	781	2	2
48	412	1-LEVEL	880	2	2
49	413	1-LEVEL	715	1	1
50	414	1-LEVEL	725	1	1
51	415	1-LEVEL	784	2	1
4TH LEVEL TOTAL					10,459
5TH LEVEL					
52	501	1-LEVEL	613	1	1
53	502	1-LEVEL	588	1	1
54	503	1-LEVEL	588	1	1
55	504	1-LEVEL	588	1	1
56	505	1-LEVEL	588	1	1
57	506	1-LEVEL	783	2	2
58	507	1-LEVEL	851	2	2
59	508	1-LEVEL	562	1	1
60	509	1-LEVEL	562	1	1
61	510	1-LEVEL	851	2	2
62	511	1-LEVEL	781	2	2
63	512	1-LEVEL	880	2	2
64	513	1-LEVEL	715	1	1
65	514	1-LEVEL	725	1	1
66	515	1-LEVEL	784	2	1
5TH LEVEL TOTAL					10,293
6TH LEVEL (ROOF-TOP)					2,364
TOTAL AMENITY					3,931
TOTAL RESIDENTIAL					47,980
AVERAGE DWELLING UNIT					727

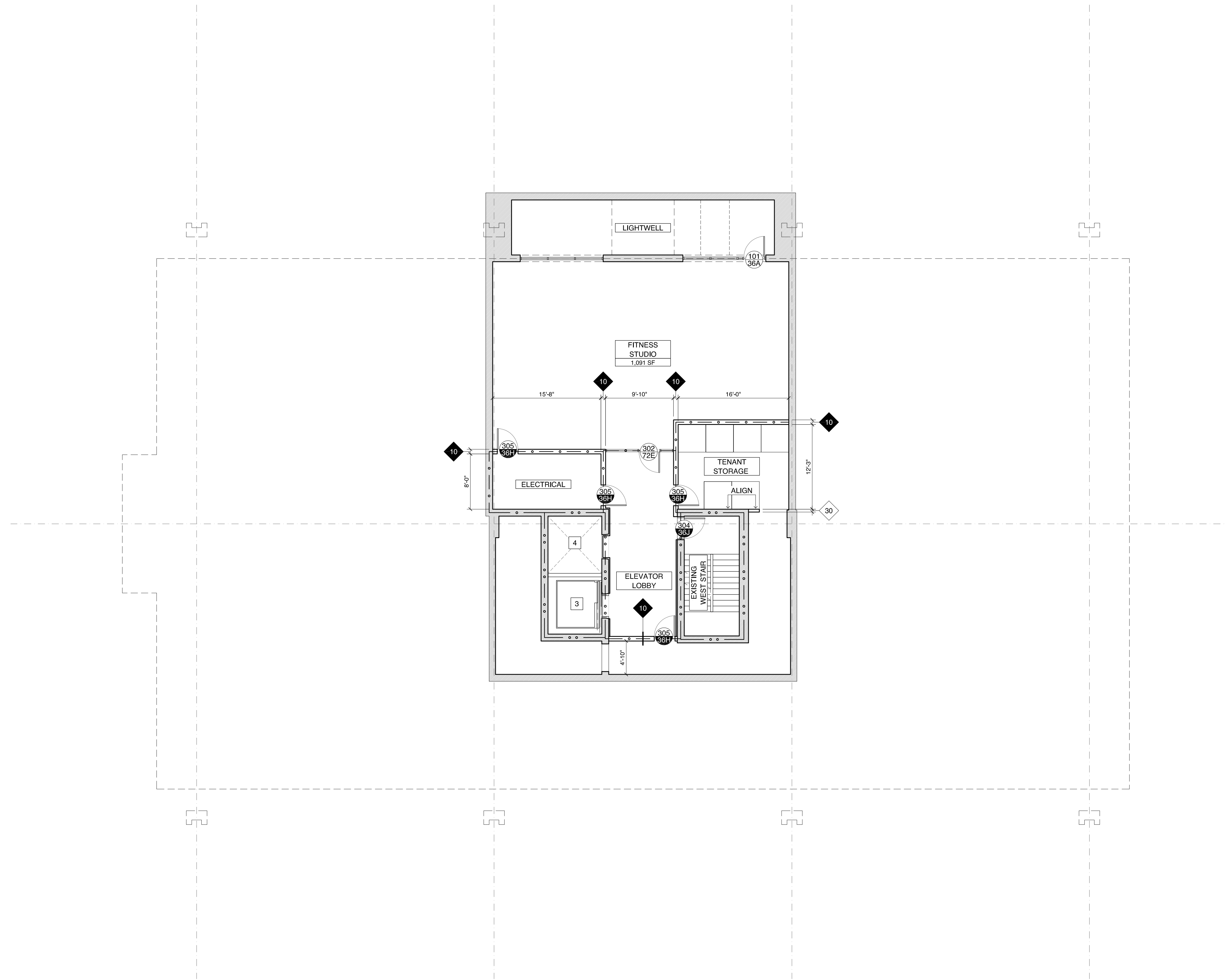
INDICATES TYPE 'A' UNIT DESIGNED PER ANSI 117.1 CHAPTER 10.

*NO TYPE 'B' UNITS ARE REQUIRED PER IBC 2009 3411.1 EXCEPTION.

FLOOR PLANS

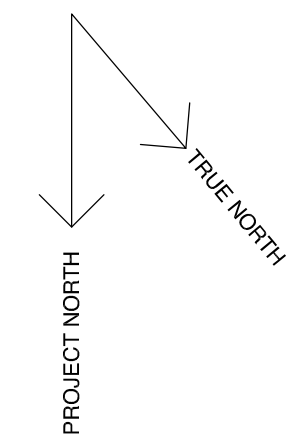
Improvements and Alterations at:
THE DANIELS BUILDING
 3805 Cuthshaw Ave.
 Richmond, Virginia

**VHDA REVIEW SET
 NOT FOR CONSTRUCTION**



01 BASEMENT LEVEL

A1.0
 1/8" = 1'-0"
 0 8 16 24 FT



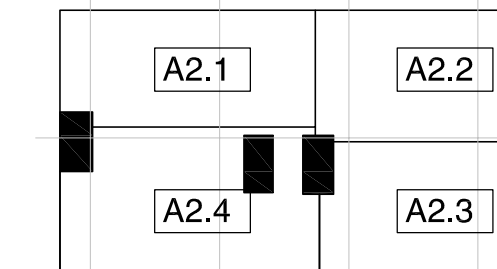
A1.0
 1306.26

GENERAL PLAN NOTES

1. REFER TO FS1 FOR EGRESS INFORMATION

KEY PLAN NOTES

- 1 PROVIDE MTL LINER FOR TRASH CHUTE CONTINUOUS FROM 5TH FLOOR TRASH CHUTE DOOR TO 1ST LEVEL TRASH ROOM, WITH DOORS @ EVERY LEVEL.
- 2 PROVIDE USPS APPROVED SECURED MAIL BOXES FOR 66 UITS AND BUILDING OFFICE.
- 3 NEW ELEVATOR CAB AND ALL ASSOCIATED COMPONENTS IN EXISTING ELEVATOR SHAFT. MANUFACTURER TO COORDINATE AND CONFIRM CONDITIONS INCLUDING ELECTRICAL FOR NEW INSTALLATION.
- 4 EXISTING ELEVATOR SHAFT TO BE ABANDONED. COORDINATE INSTALLATION OF ELECTRICAL CONDUIT AS SHOWN IN ELECTRICAL DRAWINGS INCLUDING ALL REQUIRED RATED ENCLOSURES FOR CONDUIT.
- 5 EXISTING VERTICAL CONDUIT FOR CELL TOWER EQUIPMENT TO BE RELOCATED. COORDINATE NEW LOCATION WITHIN PROPOSED NEW CHASSES AND/OR FLOOR TO CEILING WALL ASSEMBLIES.



KEYPLAN LEVEL 1

UNIT SCHEDULE:

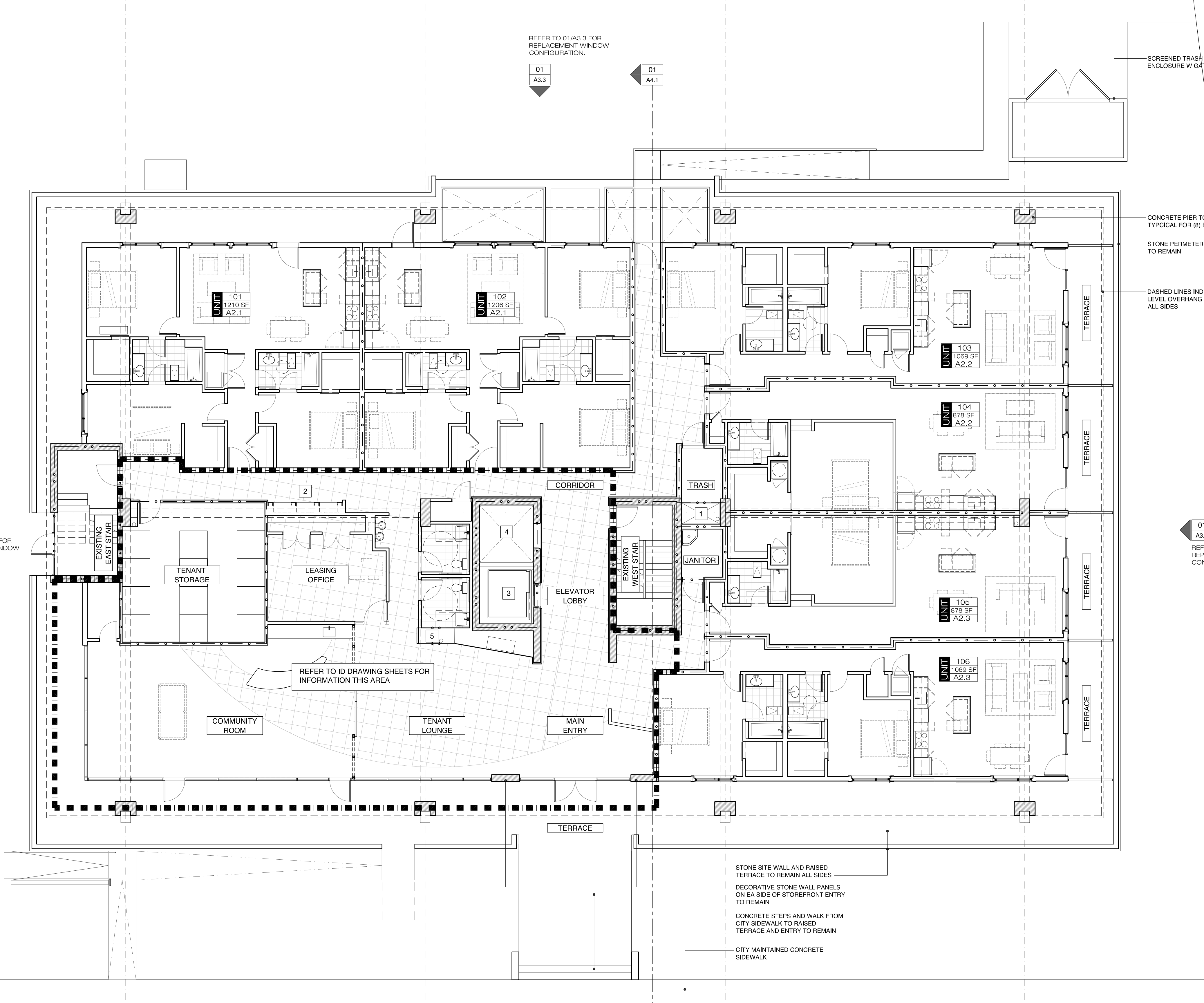
BASEMENT LEVEL (AMENITY & SERVICE) 1,567 sqft

LEVELS 1-5 RESIDENTIAL					
UNIT	TYPE	AREA	BR	BA	
1ST LEVEL (19#)					
01	101	1,210	3	2	
02	102	1,206	3	2	
03	103	1,069	2	2	
04	104	878	1	1	
05	105	878	1	1	
06	106	1,069	2	2	
1ST LEVEL TOTAL 6,310					
2ND LEVEL					
07	201	613	1	1	
08	202	588	1	1	
09	203	588	1	1	
10	204	588	1	1	
11	205	588	1	1	
12	206	783	2	2	
13	207	851	2	2	
14	208	562	1	1	
15	209	562	1	1	
16	210	851	2	2	
17	211	781	2	2	
18	212	880	2	2	
19	213	715	1	1	
20	214	725	1	1	
21	215	784	2	1	
2ND LEVEL TOTAL 10,459					
3RD LEVEL					
22	301	613	1	1	
23	302	588	1	1	
24	303	588	1	1	
25	304	588	1	1	
26	305	588	1	1	
27	306	783	2	2	
28	307	851	2	2	
29	308	562	1	1	
30	309	562	1	1	
31	310	851	2	2	
32	311	781	2	2	
33	312	880	2	2	
34	313	715	1	1	
35	314	725	1	1	
36	315	784	2	1	
3RD LEVEL TOTAL 10,459					
4TH LEVEL					
37	401	613	1	1	
38	402	588	1	1	
39	403	588	1	1	
40	404	588	1	1	
41	405	588	1	1	
42	406	783	2	2	
43	407	851	2	2	
44	408	562	1	1	
45	409	562	1	1	
46	410	851	2	2	
47	411	781	2	2	
48	412	880	2	2	
49	413	715	1	1	
50	414	725	1	1	
51	415	784	2	1	
4TH LEVEL TOTAL 10,459					
5TH LEVEL					
52	501	613	1	1	
53	502	588	1	1	
54	503	588	1	1	
55	504	588	1	1	
56	505	588	1	1	
57	506	783	2	2	
58	507	851	2	2	
59	508	562	1	1	
60	509	562	1	1	
61	510	851	2	2	
62	511	781	2	2	
63	512	880	2	2	
64	513	715	1	1	
65	514	725	1	1	
66	515	784	2	1	
5TH LEVEL TOTAL 10,293					
6TH LEVEL (ROOF-TOP) 2,364					
TOTAL AMENITY 3,931					
TOTAL RESIDENTIAL 47,980					
AVERAGE DWELLING UNIT 727					

INDICATES TYPE 'A' UNIT DESIGNED PER ANSI 117.1 CHAPTER 10.
 *NO TYPE 'B' UNITS ARE REQUIRED PER IBC 2009 3411.1 EXCEPTION.

FLOOR PLANS

A1.1



01 A3.2 REFER TO 01/A3.2 FOR REPLACEMENT WINDOW CONFIGURATION.

01 A3.3 REFER TO 01/A3.3 FOR REPLACEMENT WINDOW CONFIGURATION.

01 A4.1

01 13/09.30 REVISED NOTE

SCREENED TRASH ENCLOSURE W GATES
 CONCRETE PIER TO REMAIN TYPICAL FOR (8) EXTERIOR
 STONE PERIMETER SITE WALL TO REMAIN
 DASHED LINES INDICATE 2ND LEVEL OVERHANG ABOVE ON ALL SIDES

01 A3.4 REFER TO 01/A3.4 FOR REPLACEMENT WINDOW CONFIGURATION.

REFER TO ID DRAWING SHEETS FOR INFORMATION THIS AREA

STONE SITE WALL AND RAISED TERRACE TO REMAIN ALL SIDES
 DECORATIVE STONE WALL PANELS ON EA SIDE OF STOREFRONT ENTRY TO REMAIN
 CONCRETE STEPS AND WALK FROM CITY SIDEWALK TO RAISED TERRACE AND ENTRY TO REMAIN
 CITY MAINTAINED CONCRETE SIDEWALK

01 A3.1 REFER TO 01/A3.1 FOR REPLACEMENT WINDOW CONFIGURATION.

01 A4.1

01 1ST/STREET LEVEL



PROJECT NORTH
 TRUE NORTH

Improvements and Alterations at:
THE DANIELS BUILDING
 3805 Cuthaw Ave.
 Richmond, Virginia
VHDA REVIEW SET
NOT FOR CONSTRUCTION

DATE: 13/06/26

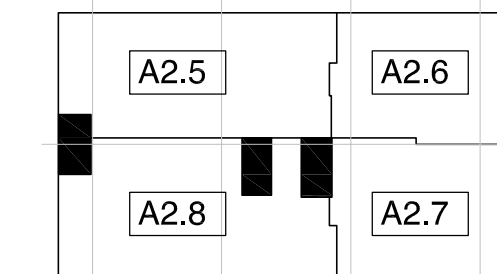
GENERAL PLAN NOTES

- REFER TO FS1 FOR EGRESS INFORMATION

KEY PLAN NOTES

- PROVIDE MTL LINER FOR TRASH CHUTE CONTINUOUS FROM 5TH FLOOR TRASH CHUTE DOOR TO 1ST LEVEL TRASH ROOM, WITH DOORS @ EVERY LEVEL
- PROVIDE USPS APPROVED SECURED MAIL BOXES FOR 66 UITS AND BUILDING OFFICE
- NEW ELEVATOR CAB AND ALL ASSOCIATED COMPONENTS IN EXISTING ELEVATOR SHAFT. MANUFACTURER TO COORDINATE AND CONFIRM CONDITIONS INCLUDING ELECTRICAL FOR NEW INSTALLATION.
- EXISTING ELEVATOR SHAFT TO BE ABANDONED. COORDINATE INSTALLATION OF ELECTRICAL CONDUIT AS SHOWN IN ELECTRICAL DRAWINGS INCLUDING ALL REQUIRED RATED ENCLOSURES FOR CONDUIT.
- EXISTING VERTICAL CONDUIT FOR CELL TOWER EQUIPMENT TO BE RELOCATED. COORDINATE NEW LOCATION WITH PROPOSED NEW CHASES AND/OR FLOOR TO CEILING WALL ASSEMBLIES.

01 13/09.30
 RESPONSE TO VHDA COMMENTS
 IN LETTER DATED 13/09.11



KEYPLAN LEVELS 2-5

UNIT SCHEDULE:

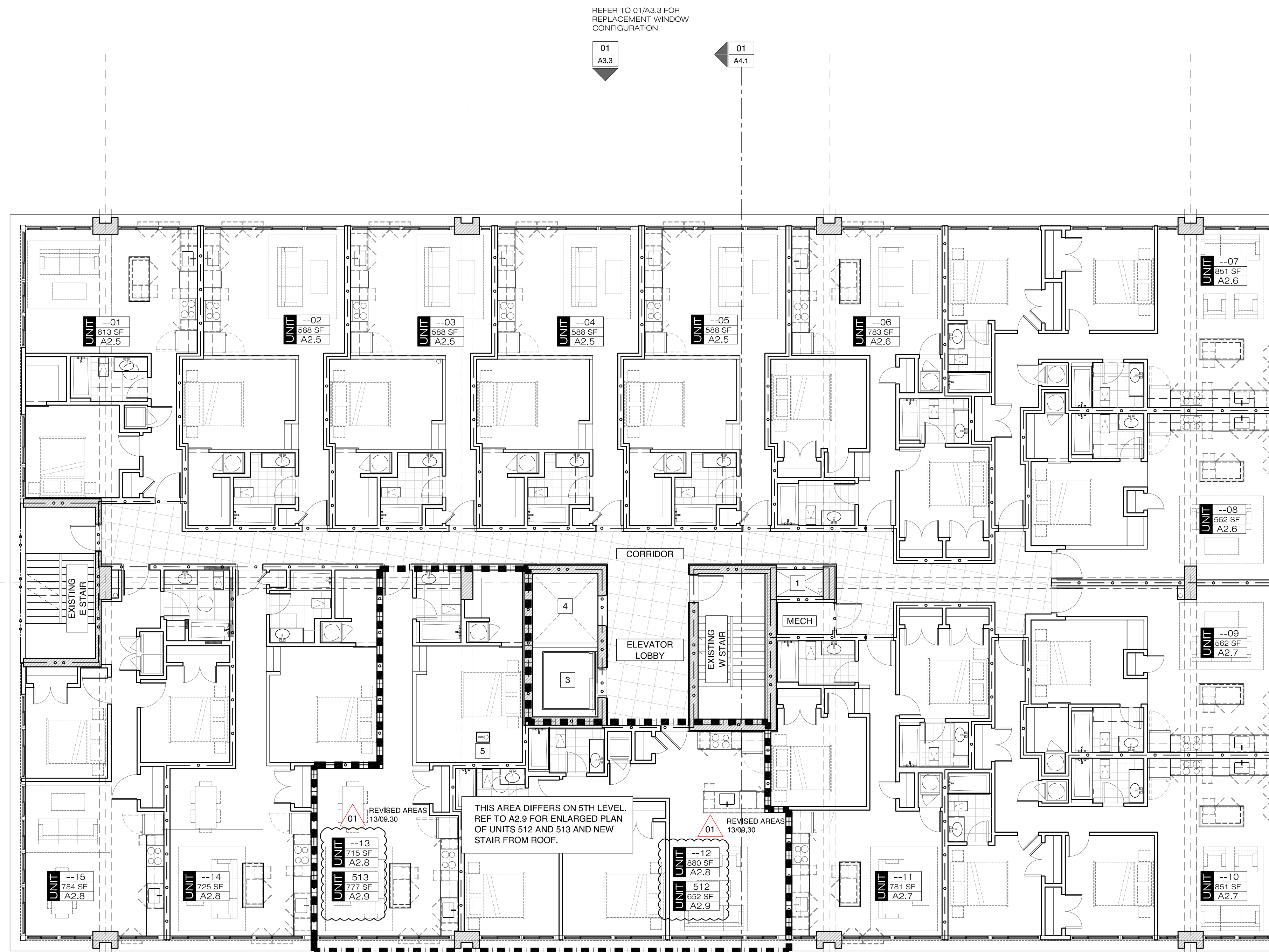
BASEMENT LEVEL (AMENITY & SERVICE) 1,567 sqft

LEVELS 1-5 RESIDENTIAL					
UNIT	TYPE	AREA	BR	BA	
1ST LEVEL					
01	1-LEVEL	1,210	3	2	
02	1-LEVEL	1,206	3	2	
03	1-LEVEL	1,069	2	2	
04	1-LEVEL	878	1	1	
05	1-LEVEL	878	1	1	
06	1-LEVEL	1,069	2	2	
1ST LEVEL TOTAL 6,310					
2ND LEVEL					
07	2-LEVEL	613	1	1	
08	2-LEVEL	588	1	1	
09	2-LEVEL	588	1	1	
10	2-LEVEL	588	1	1	
11	2-LEVEL	588	1	1	
12	2-LEVEL	783	2	2	
13	2-LEVEL	851	2	2	
14	2-LEVEL	562	1	1	
15	2-LEVEL	562	1	1	
16	2-LEVEL	851	2	2	
17	2-LEVEL	781	2	2	
18	2-LEVEL	880	2	2	
19	2-LEVEL	715	1	1	
20	2-LEVEL	725	1	1	
21	2-LEVEL	784	2	1	
2ND LEVEL TOTAL 10,459					
3RD LEVEL					
22	3-LEVEL	613	1	1	
23	3-LEVEL	588	1	1	
24	3-LEVEL	588	1	1	
25	3-LEVEL	588	1	1	
26	3-LEVEL	588	1	1	
27	3-LEVEL	783	2	2	
28	3-LEVEL	851	2	2	
29	3-LEVEL	562	1	1	
30	3-LEVEL	562	1	1	
31	3-LEVEL	851	2	2	
32	3-LEVEL	781	2	2	
33	3-LEVEL	880	2	2	
34	3-LEVEL	715	1	1	
35	3-LEVEL	725	1	1	
36	3-LEVEL	784	2	1	
3RD LEVEL TOTAL 10,459					
4TH LEVEL					
37	4-LEVEL	613	1	1	
38	4-LEVEL	588	1	1	
39	4-LEVEL	588	1	1	
40	4-LEVEL	588	1	1	
41	4-LEVEL	588	1	1	
42	4-LEVEL	783	2	2	
43	4-LEVEL	851	2	2	
44	4-LEVEL	562	1	1	
45	4-LEVEL	562	1	1	
46	4-LEVEL	851	2	2	
47	4-LEVEL	781	2	2	
48	4-LEVEL	880	2	2	
49	4-LEVEL	715	1	1	
50	4-LEVEL	725	1	1	
51	4-LEVEL	784	2	1	
4TH LEVEL TOTAL 10,459					
5TH LEVEL					
52	5-LEVEL	613	1	1	
53	5-LEVEL	588	1	1	
54	5-LEVEL	588	1	1	
55	5-LEVEL	588	1	1	
56	5-LEVEL	588	1	1	
57	5-LEVEL	783	2	2	
58	5-LEVEL	851	2	2	
59	5-LEVEL	562	1	1	
60	5-LEVEL	562	1	1	
61	5-LEVEL	851	2	2	
62	5-LEVEL	781	2	2	
63	5-LEVEL	880	2	2	
64	5-LEVEL	715	1	1	
65	5-LEVEL	725	1	1	
66	5-LEVEL	784	2	1	
5TH LEVEL TOTAL 10,293					
6TH LEVEL (ROOF-TOP) 2,364					
TOTAL AMENITY 3,931					
TOTAL RESIDENTIAL 47,980					
AVERAGE DWELLING UNIT 727					

INDICATES TYPE 'A' UNIT DESIGNED PER ANSI 117.1 CHAPTER 10. 01 13/09.30
 *NO TYPE 'B' UNITS ARE REQUIRED PER IBC 2009 3411.1 EXCEPTION.

Improvements and Alterations at:
THE DANIELS BUILDING
 3805 Cuthshaw Ave.
 Richmond, Virginia

VHDA REVIEW SET
NOT FOR CONSTRUCTION



01 A3.2
 REFER TO 01/A3.2 FOR REPLACEMENT WINDOW CONFIGURATION.

01 A3.3
 REFER TO 01/A3.3 FOR REPLACEMENT WINDOW CONFIGURATION.

01 A4.1

01 A3.4
 REFER TO 01/A3.4 FOR REPLACEMENT WINDOW CONFIGURATION.

01 A3.1
 REFER TO 01/A3.1 FOR REPLACEMENT WINDOW CONFIGURATION.

01 A4.1

01 2ND-5TH TYPICAL LEVELS

A1.2
 1/8" = 1'-0" 0 8 16 24 FT

FLOOR PLANS

1/8" = 1'-0" 0 8 16 24 FT

A1.2

ROOF PLAN NOTES

- REFER TO FS1 FOR EGRESS INFORMATION
 - VISIBLE SECONDARY OVERFLOW DRAINAGE AT ROOF EDGE NEW ROOF TO BE MINIMUM 60 MIL TPO MEMBRANE ROOF FULLY ADHERED TO MINIMUM R-20 CONTINUOUS INSULATION ON EXISTING CONCRETE ROOF DECK.
 - NEW ROOF TO BE INSTALLED PER MANUFACTURER'S REQUIREMENTS TO INSURE A MINIMUM WARRANTY OF 20 YEARS.
- INDICATES EXISTING ROOF DRAINS TO REMAIN AND BE REPAIRED. PROVIDE TAPERED INSULATION FOR POSITIVE DRAINAGE IN ALL AREAS TO EXISTING INTERNAL DRAINS AND AWAY FROM ROOF EDGES.

KEY PLAN NOTES

- PROVIDE MTL LINER FOR TRASH CHUTE CONTINUOUS FROM 5TH FLOOR TRASH CHUTE DOOR TO 1ST LEVEL TRASH ROOM, WITH DOORS @ EVERY LEVEL
- PROVIDE USPS APPROVED SECURED MAIL BOXES FOR 66 UITS AND BUILDING OFFICE
- NEW ELEVATOR CAB AND ALL ASSOCIATED COMPONENTS IN EXISTING ELEVATOR SHAFT. MANUFACTURER TO COORDINATE AND CONFIRM CONDITIONS INCLUDING ELECTRICAL FOR NEW INSTALLATION.
- EXISTING ELEVATOR SHAFT TO BE ABANDONED. COORDINATE INSTALLATION OF ELECTRICAL CONDUIT AS SHOWN IN ELECTRICAL DRAWINGS INCLUDING ALL REQUIRED RATED ENCLOSURES FOR CONDUIT.
- EXISTING VERTICAL CONDUIT FOR CELL TOWER EQUIPMENT TO BE RELOCATED. COORDINATE NEW LOCATION WITHIN PROPOSED NEW CHASES AND/OR FLOOR TO CEILING WALL ASSEMBLIES.

UNIT SCHEDULE:

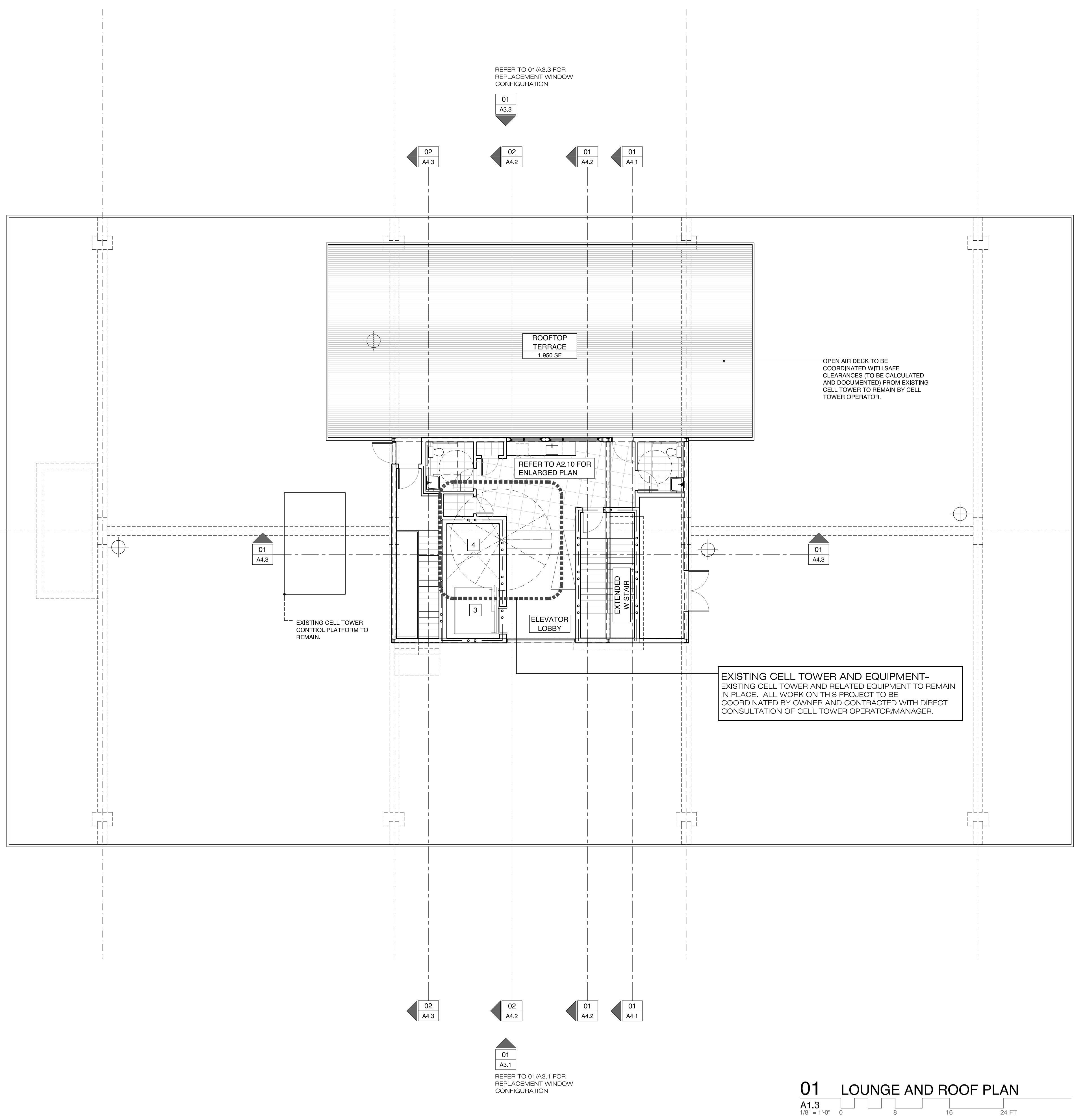
BASEMENT LEVEL (AMENITY & SERVICE) 1,567 sqft					
LEVELS 1-5 RESIDENTIAL					
UNIT	TYPE	AREA	BR	BA	
1ST LEVEL (sqft)					
01	1-LEVEL	1,210	3	2	
02	1-LEVEL	1,206	3	2	
03	1-LEVEL	1,069	2	2	
04	1-LEVEL	878	1	1	
05	1-LEVEL	878	1	1	
06	1-LEVEL	1,069	2	2	
1ST LEVEL TOTAL		6,310			
2ND LEVEL					
07	201	1-LEVEL	613	1	1
08	202	1-LEVEL	588	1	1
09	203	1-LEVEL	588	1	1
10	204	1-LEVEL	588	1	1
11	205	1-LEVEL	588	1	1
12	206	1-LEVEL	783	2	2
13	207	1-LEVEL	851	2	2
14	208	1-LEVEL	562	1	1
15	209	1-LEVEL	562	1	1
16	210	1-LEVEL	851	2	2
17	211	1-LEVEL	781	2	2
18	212	1-LEVEL	880	2	2
19	213	1-LEVEL	715	1	1
20	214	1-LEVEL	725	1	1
21	215	1-LEVEL	784	2	1
2ND LEVEL TOTAL		10,459			
3RD LEVEL					
22	301	1-LEVEL	613	1	1
23	302	1-LEVEL	588	1	1
24	303	1-LEVEL	588	1	1
25	304	1-LEVEL	588	1	1
26	305	1-LEVEL	588	1	1
27	306	1-LEVEL	783	2	2
28	307	1-LEVEL	851	2	2
29	308	1-LEVEL	562	1	1
30	309	1-LEVEL	562	1	1
31	310	1-LEVEL	851	2	2
32	311	1-LEVEL	781	2	2
33	312	1-LEVEL	880	2	2
34	313	1-LEVEL	715	1	1
35	314	1-LEVEL	725	1	1
36	315	1-LEVEL	784	2	1
3RD LEVEL TOTAL		10,459			
4TH LEVEL					
37	401	1-LEVEL	613	1	1
38	402	1-LEVEL	588	1	1
39	403	1-LEVEL	588	1	1
40	404	1-LEVEL	588	1	1
41	405	1-LEVEL	588	1	1
42	406	1-LEVEL	783	2	2
43	407	1-LEVEL	851	2	2
44	408	1-LEVEL	562	1	1
45	409	1-LEVEL	562	1	1
46	410	1-LEVEL	851	2	2
47	411	1-LEVEL	781	2	2
48	412	1-LEVEL	880	2	2
49	413	1-LEVEL	715	1	1
50	414	1-LEVEL	725	1	1
51	415	1-LEVEL	784	2	1
4TH LEVEL TOTAL		10,459			
5TH LEVEL					
52	501	1-LEVEL	613	1	1
53	502	1-LEVEL	588	1	1
54	503	1-LEVEL	588	1	1
55	504	1-LEVEL	588	1	1
56	505	1-LEVEL	588	1	1
57	506	1-LEVEL	783	2	2
58	507	1-LEVEL	851	2	2
59	508	1-LEVEL	562	1	1
60	509	1-LEVEL	562	1	1
61	510	1-LEVEL	851	2	2
62	511	1-LEVEL	781	2	2
63	512	1-LEVEL	880	2	2
64	513	1-LEVEL	715	1	1
65	514	1-LEVEL	725	1	1
66	515	1-LEVEL	784	2	1
5TH LEVEL TOTAL		10,293			
6TH LEVEL (ROOF-TOP)		2,364			
TOTAL AMENITY		3,931			
TOTAL RESIDENTIAL		47,980			
AVERAGE DWELLING UNIT		727			

INDICATES TYPE 'A' UNIT DESIGNED PER ANSI 117.1 CHAPTER 10.
*NO TYPE 'B' UNITS ARE REQUIRED PER IBC 2009 3411.1 EXCEPTION.

FLOOR PLANS

A1.3

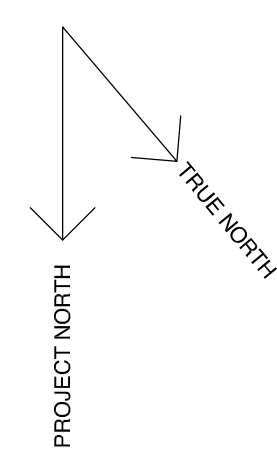
13/09/26



01 LOUNGE AND ROOF PLAN
A1.3
1/8" = 1'-0"

Improvements and Alterations at:
THE DANIELS BUILDING
3805 Cutshaw Ave.
Richmond, Virginia

**VHDA REVIEW SET
NOT FOR CONSTRUCTION**



**GENERAL ENLARGED
PLAN NOTES**

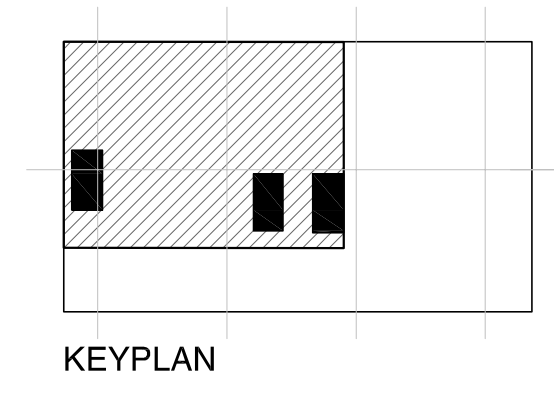
- 1/ DIMENSIONS GIVEN AT NEW PARTITIONS ARE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED. REFER TO PARTITION SCHEDULE AND WALL ASSEMBLY DETAILS FOR ADDITIONAL INFORMATION. NOTIFY OWNER AND ARCHITECT IF FIELD DIMENSIONS DIFFER BY MORE THAN 4" OR RESULT IN A CONFLICT WITH EXISTING CONDITIONS.
- 2/ DIMENSIONS GIVEN AND DOOR TAG DIMENSIONS AT DOORS INDICATE ACTUAL DOOR WIDTH. COORDINATE ROUGH OPENING AND/OR DEMOLITION FOR NEW DOORS AS REQUIRED FOR INSTALLATION OF DOOR WIDTH GIVEN.
- 3/ UNLESS NOTED DIFFERENTLY, ALL CLOSET DOOR OPENINGS ARE TO BE CENTERED ON OVERALL WIDTH OF CLOSET AS DIMENSIONED.
- 4/ UNLESS NOTE DIFFERENTLY, FINISH DOOR JAMBS ARE TO BE LOCATED 4" CLEAR FROM FACE OF NEAREST ADJACENT PERPENDICULAR WALL.
- 5/ ALL FIXTURES SHOWN IN PROPOSED UNITS ARE NEW. COORDINATE DIMENSIONS GIVEN WITH FIXTURE SELECTIONS AS REQUIRED TO INCLUDE INSTALLATION AND SERVICE AREAS.
- 6/ NEW CLOTHES CLOSETS TO HAVE STANDARD CLOSET ROD AND 12" PAINTED TOP SHELF FROM SIDE TO SIDE WITH SUPPORT BRACKETS AT 30" O.C. MAX OR CENTERED IF CLOSET WIDTH IS LESS THAN 60".
- 7/ HVAC CLOSETS AND PLATFORMS TO HAVE DRAIN PAN AND WATER RESISTANT FLOOR COVERING AS REQ'D BY CODE AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 8/ BATHROOMS WITH CERAMIC TILE FLOORING TO INCLUDE STONE DOOR THRESHOLD. PREPARE SUBFLOOR AND WALL SUBSTRATE AS REQUIRED FOR NEW TILE.
- 9/ LAUNDRY CLOSETS TO BE CERAMIC TILE WITH TRANSITION THRESHOLD AT INTERSECTION WITH CARPET FLOORING. PREPARE SUBFLOOR AS REQUIRED FOR NEW TILE.
- 10/ LAUNDRY CLOSETS COORDINATE WITH SPECIFIED WIDTH AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 11/ BATHROOM WALLS TO COORD W/ TUB ENCLOSURE. FURRED WALL TO BE ADDED FOR EXTRA WIDTH AT HEAD OR FOOT OF TUB AS INDICATED ON PLANS. WHERE TUB ABUTS RATED WALL INSURE RATING CONTINUES BEHIND TUB ENCLOSURE FULL HEIGHT OF WALL. PROVIDE TRIM TO ENCASE EXPOSED TUB FLANGE PER MANUFACTURER'S DETAILS.
- 12/ ALL NON-RATED UNIT INTERIOR PARTITIONS TO BE PARTITION TYPE 30 UNLESS OTHERWISE NOTED.
- 13/ AS REQUIRED BY IBC CHAPTER 10, MAINTAIN 36" CLEAR MINIMUM EGRESS IN APARTMENTS AND 44" CLEAR MINIMUM EGRESS IN PUBLIC AREAS.
- 14/ CLOSET AND BATHROOM FINISH CEILINGS TO BE 8'-0" AFF UNLESS OTHERWISE NOTED.
- 15/ WALK IN CLOSETS TO BE 4'-11" X 4'-11" MIN.

PARTITION TYPE LEGEND

- ◆ RATED PARTITION TYPE
 - ◇ NON-RATED PARTITION TYPE
- REFER TO FS2, FS3 AND FS4 FOR PARTITION TYPES

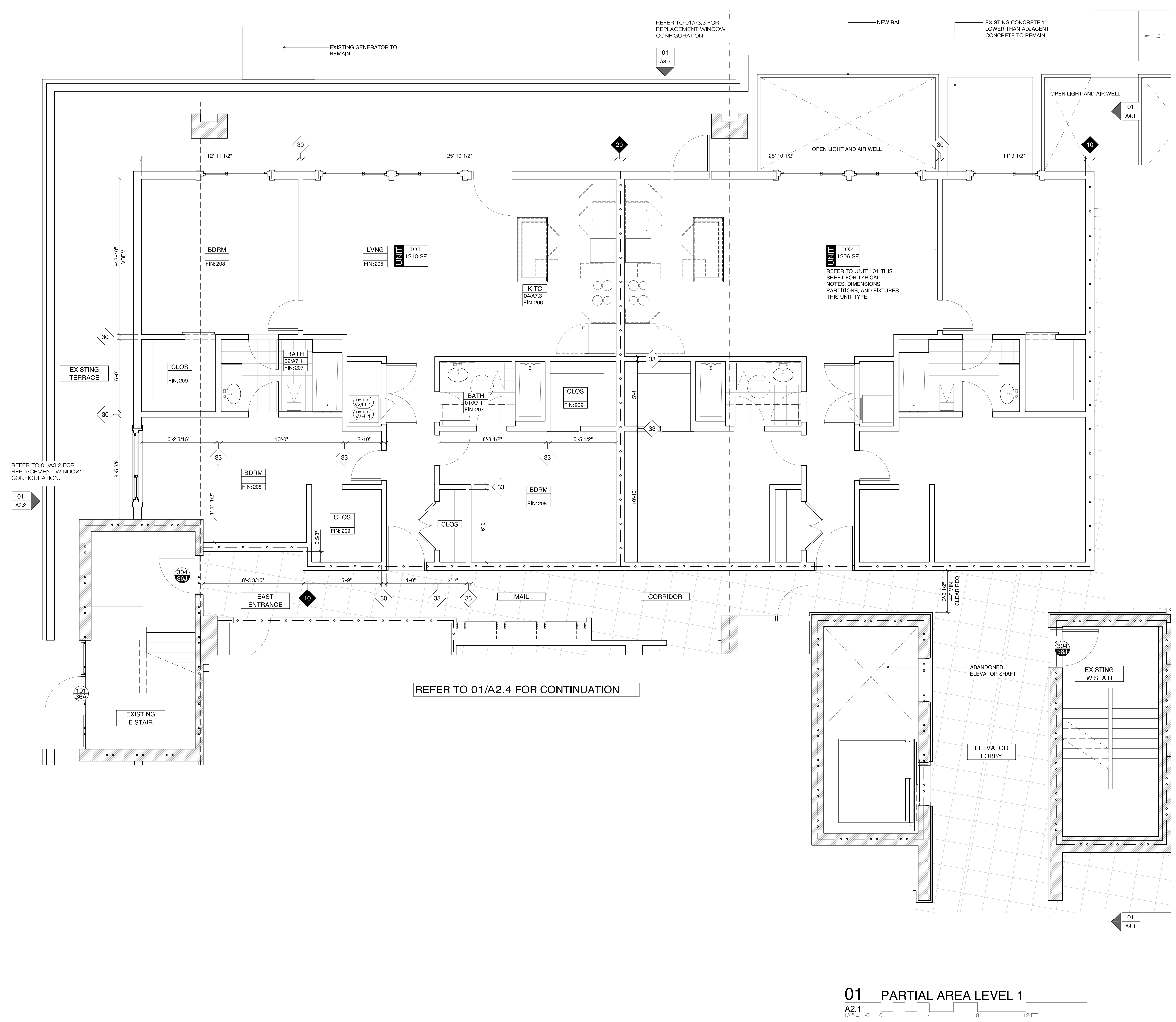
Improvements and Alterations at:
THE DANIELS BUILDING
3805 Cuthshaw Ave.
Richmond, Virginia

**VHDA REVIEW SET
NOT FOR CONSTRUCTION**

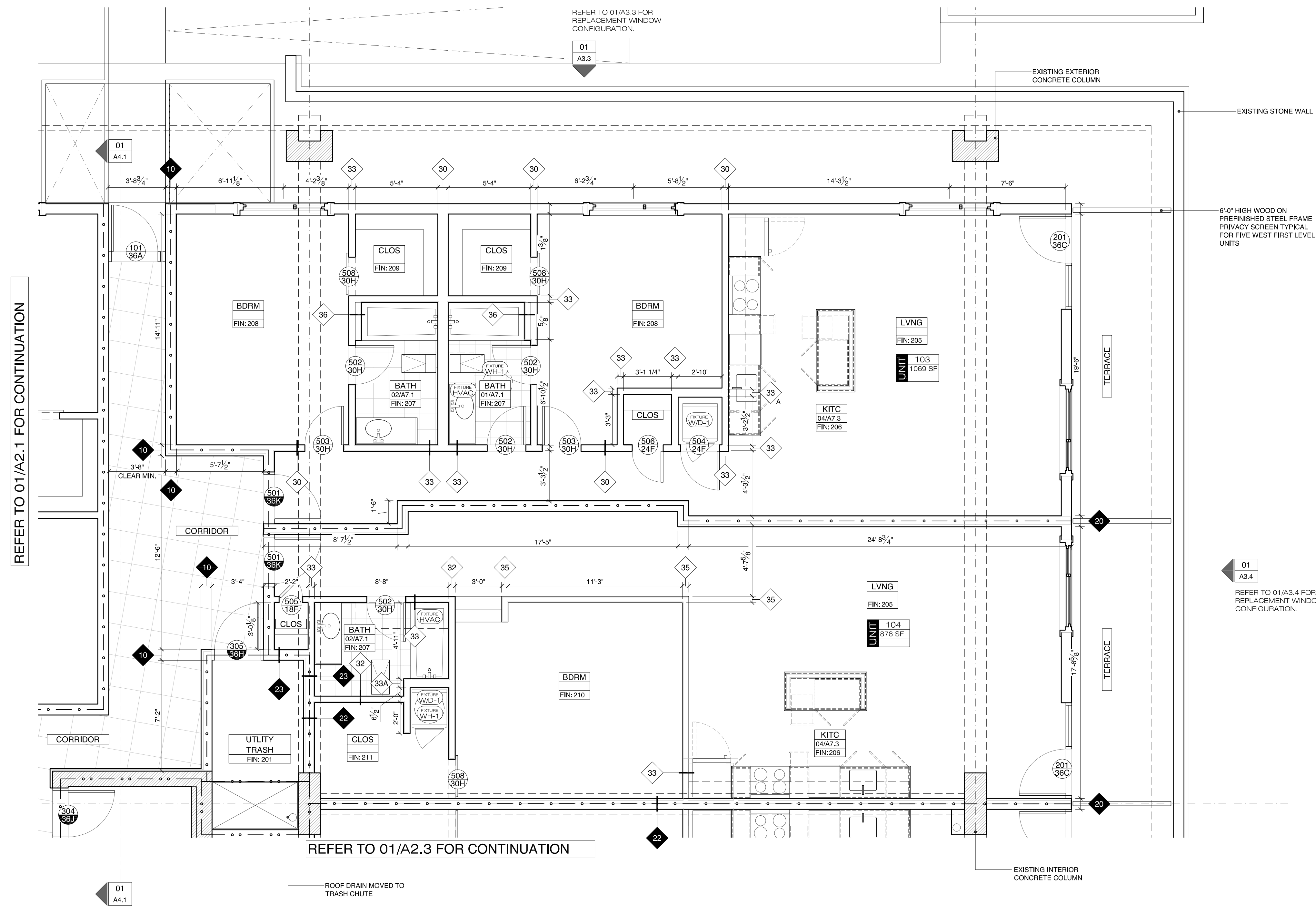


**ENLARGED
FLOOR PLANS**

A2.1



01 PARTIAL AREA LEVEL 1
A2.1
1/4" = 1'-0"



GENERAL ENLARGED PLAN NOTES

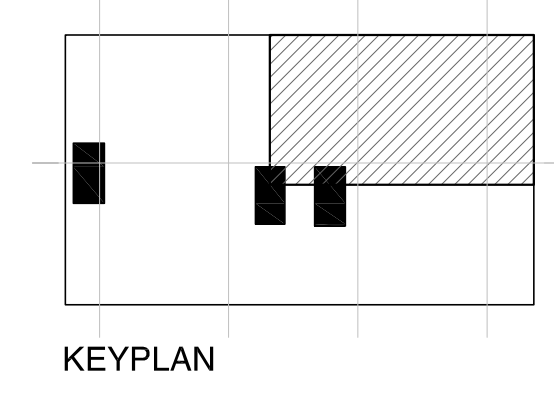
- 1/ DIMENSIONS GIVEN AT NEW PARTITIONS ARE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED. REFER TO PARTITION SCHEDULE AND WALL ASSEMBLY DETAILS FOR ADDITIONAL INFORMATION. NOTIFY OWNER AND ARCHITECT IF FIELD DIMENSIONS DIFFER BY MORE THAN 4" OR RESULT IN A CONFLICT WITH EXISTING CONDITIONS.
- 2/ DIMENSIONS GIVEN AND DOOR TAG DIMENSIONS AT DOORS INDICATE ACTUAL DOOR WIDTH. COORDINATE ROUGH OPENING AND/OR DEMOLITION FOR NEW DOORS AS REQUIRED FOR INSTALLATION OF DOOR WIDTH GIVEN.
- 3/ UNLESS NOTED DIFFERENTLY, ALL CLOSET DOOR OPENINGS ARE TO BE CENTERED ON OVERALL WIDTH OF CLOSET AS DIMENSIONED.
- 4/ UNLESS NOTE DIFFERENTLY, FINISH DOOR JAMBS ARE TO BE LOCATED 4" CLEAR FROM FACE OF NEAREST ADJACENT PERPENDICULAR WALL.
- 5/ ALL FIXTURES SHOWN IN PROPOSED UNITS ARE NEW. COORDINATE DIMENSIONS GIVEN WITH FIXTURE SELECTIONS AS REQUIRED TO INCLUDE INSTALLATION AND SERVICE AREAS.
- 6/ NEW CLOTHES CLOSETS TO HAVE STANDARD CLOSET ROD AND 12" PAINTED TOP SHELF FROM SIDE TO SIDE WITH SUPPORT BRACKETS AT 30" O.C. MAX OR CENTERED IF CLOSET WIDTH IS LESS THAN 60".
- 7/ HVAC CLOSETS AND PLATFORMS TO HAVE DRAIN PAN AND WATER RESISTANT FLOOR COVERING AS REQ'D BY CODE AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 8/ BATHROOMS WITH CERAMIC TILE FLOORING TO INCLUDE STONE DOOR THRESHOLD. PREPARE SUBFLOOR AND WALL SUBSTRATE AS REQUIRED FOR NEW TILE.
- 9/ LAUNDRY CLOSETS TO BE CERAMIC TILE WITH TRANSITION THRESHOLD AT INTERSECTION WITH CARPET FLOORING. PREPARE SUBFLOOR AS REQUIRED FOR NEW TILE.
- 10/ LAUNDRY CLOSETS COORDINATE WITH SPECIFIED WIDTH AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 11/ BATHROOM WALLS TO COORD W/ TUB ENCLOSURE. FURRED WALL TO BE ADDED FOR EXTRA WIDTH AT HEAD OR FOOT OF TUB AS INDICATED ON PLANS. WHERE TUB ABUTS RATED WALL INSURE RATING CONTINUES BEHIND TUB ENCLOSURE FULL HEIGHT OF WALL. PROVIDE TRIM TO ENCASE EXPOSED TUB FLANGE PER MANUFACTURER'S DETAILS.
- 12/ ALL NON-RATED UNIT INTERIOR PARTITIONS TO BE PARTITION TYPE 30 UNLESS OTHERWISE NOTED.
- 13/ AS REQUIRED BY IBC CHAPTER 10, MAINTAIN 36" CLEAR MINIMUM EGRESS IN APARTMENTS AND 44" CLEAR MINIMUM EGRESS IN PUBLIC AREAS.
- 14/ CLOSET AND BATHROOM FINISH CEILINGS TO BE 8'-0" AFF UNLESS OTHERWISE NOTED.
- 15/ WALK IN CLOSETS TO BE 4'-11" X 4'-11" MIN.

PARTITION TYPE LEGEND

- ◆ RATED PARTITION TYPE
 - ◇ NON-RATED PARTITION TYPE
- REFER TO FS2, FS3 AND FS4 FOR PARTITION TYPES

Improvements and Alterations at:
THE DANIELS BUILDING
 3805 Cuthshaw Ave.
 Richmond, Virginia

VHDA REVIEW SET
NOT FOR CONSTRUCTION



KEYPLAN

ENLARGED FLOOR PLANS

A2.2

01 PARTIAL AREA LEVEL 1



REFER TO 01/A2.1 FOR CONTINUATION

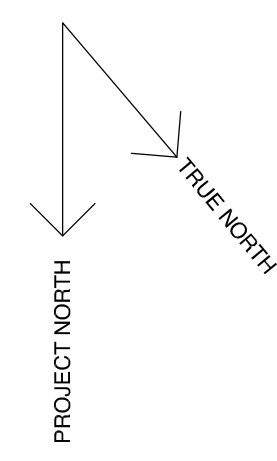
REFER TO 01/A2.3 FOR CONTINUATION

01 A3.4
 REFER TO 01/A3.4 FOR REPLACEMENT WINDOW CONFIGURATION.

01 A3.3
 REFER TO 01/A3.3 FOR REPLACEMENT WINDOW CONFIGURATION.

01 A4.1

ROOF DRAIN MOVED TO TRASH CHUTE



**GENERAL ENLARGED
 PLAN NOTES**

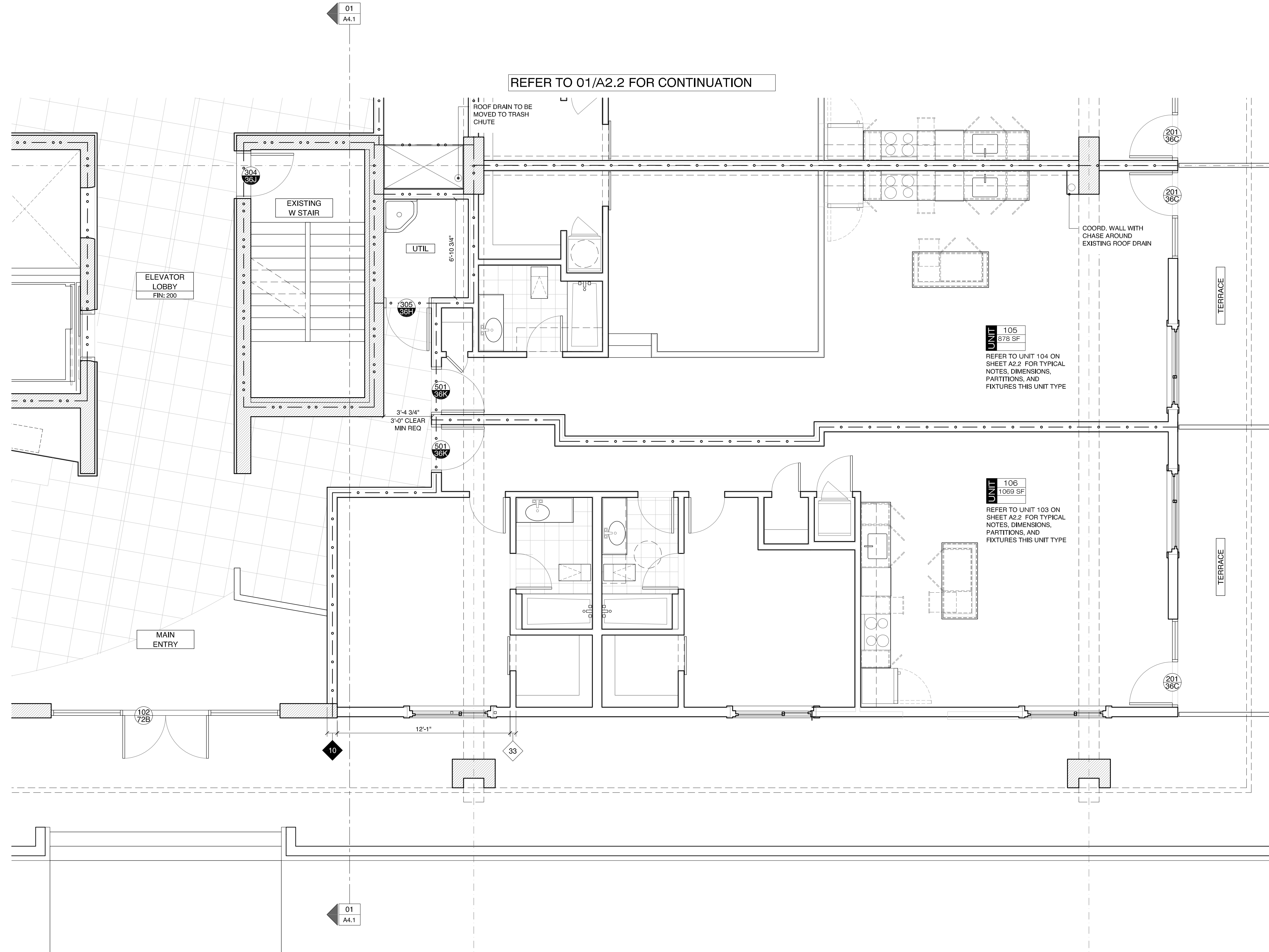
- 1/ DIMENSIONS GIVEN AT NEW PARTITIONS ARE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED. REFER TO PARTITION SCHEDULE AND WALL ASSEMBLY DETAILS FOR ADDITIONAL INFORMATION. NOTIFY OWNER AND ARCHITECT IF FIELD DIMENSIONS DIFFER BY MORE THAN 4" OR RESULT IN A CONFLICT WITH EXISTING CONDITIONS.
- 2/ DIMENSIONS GIVEN AND DOOR TAG DIMENSIONS AT DOORS INDICATE ACTUAL DOOR WIDTH. COORDINATE ROUGH OPENING AND/OR DEMOLITION FOR NEW DOORS AS REQUIRED FOR INSTALLATION OF DOOR WIDTH GIVEN.
- 3/ UNLESS NOTED DIFFERENTLY, ALL CLOSET DOOR OPENINGS ARE TO BE CENTERED ON OVERALL WIDTH OF CLOSET AS DIMENSIONED.
- 4/ UNLESS NOTE DIFFERENTLY, FINISH DOOR JAMBS ARE TO BE LOCATED 4" CLEAR FROM FACE OF NEAREST ADJACENT PERPENDICULAR WALL.
- 5/ ALL FIXTURES SHOWN IN PROPOSED UNITS ARE NEW. COORDINATE DIMENSIONS GIVEN WITH FIXTURE SELECTIONS AS REQUIRED TO INCLUDE INSTALLATION AND SERVICE AREAS.
- 6/ NEW CLOTHES CLOSETS TO HAVE STANDARD CLOSET ROD AND 12" PAINTED TOP SHELF FROM SIDE TO SIDE WITH SUPPORT BRACKETS AT 30" O.C. MAX OR CENTERED IF CLOSET WIDTH IS LESS THAN 60".
- 7/ HVAC CLOSETS AND PLATFORMS TO HAVE DRAIN PAN AND WATER RESISTANT FLOOR COVERING AS REQ'D BY CODE AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 8/ BATHROOMS WITH CERAMIC TILE FLOORING TO INCLUDE STONE DOOR THRESHOLD. PREPARE SUBFLOOR AND WALL SUBSTRATE AS REQUIRED FOR NEW TILE.
- 9/ LAUNDRY CLOSETS TO BE CERAMIC TILE WITH TRANSITION THRESHOLD AT INTERSECTION WITH CARPET FLOORING. PREPARE SUBFLOOR AS REQUIRED FOR NEW TILE.
- 10/ LAUNDRY CLOSETS COORDINATE WITH SPECIFIED WIDTH AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 11/ BATHROOM WALLS TO COORD W/ TUB ENCLOSURE. FURRED WALL TO BE ADDED FOR EXTRA WIDTH AT HEAD OR FOOT OF TUB AS INDICATED ON PLANS. WHERE TUB ABUTS RATED WALL INSURE RATING CONTINUES BEHIND TUB ENCLOSURE FULL HEIGHT OF WALL. PROVIDE TRIM TO ENCASE EXPOSED TUB FLANGE PER MANUFACTURER'S DETAILS.
- 12/ ALL NON-RATED UNIT INTERIOR PARTITIONS TO BE PARTITION TYPE 30 UNLESS OTHERWISE NOTED.
- 13/ AS REQUIRED BY IBC CHAPTER 10, MAINTAIN 36" CLEAR MINIMUM EGRESS IN APARTMENTS AND 44" CLEAR MINIMUM EGRESS IN PUBLIC AREAS.
- 14/ CLOSET AND BATHROOM FINISH CEILING TO BE 8'-0" AFF UNLESS OTHERWISE NOTED.
- 15/ WALK IN CLOSETS TO BE 4'-11" X 4'-11" MIN.

PARTITION TYPE LEGEND

- ◆ RATED PARTITION TYPE
 - ◇ NON-RATED PARTITION TYPE
- REFER TO FS2, FS3 AND FS4 FOR PARTITION TYPES

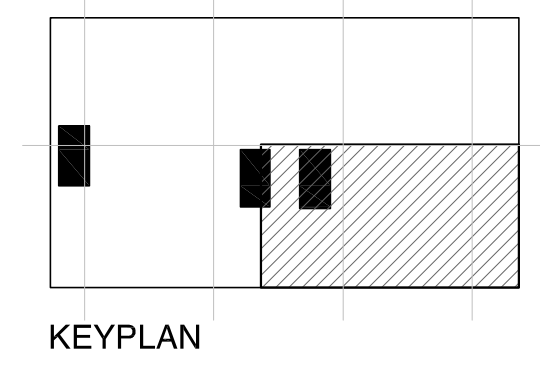
Improvements and Alterations at:
THE DANIELS BUILDING
 3805 Cuthshaw Ave.
 Richmond, Virginia

VHDA REVIEW SET
NOT FOR CONSTRUCTION



01
 A3.4
 REFER TO 01/A3.4 FOR
 REPLACEMENT WINDOW
 CONFIGURATION.

01
 A3.1
 REFER TO 01/A3.1 FOR
 REPLACEMENT WINDOW
 CONFIGURATION.



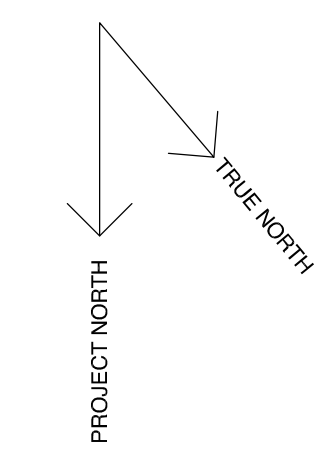
KEYPLAN

**ENLARGED
 FLOOR PLANS**

A2.3

01 PARTIAL AREA LEVEL 1

A2.3
 1/4" = 1'-0" 0 4 8 12 FT

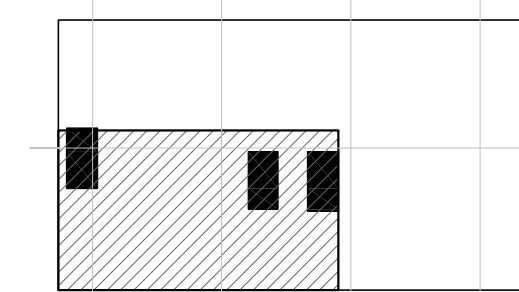


**GENERAL ENLARGED
 PLAN NOTES**

- 1/ DIMENSIONS GIVEN AT NEW PARTITIONS ARE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED. REFER TO PARTITION SCHEDULE AND WALL ASSEMBLY DETAILS FOR ADDITIONAL INFORMATION. NOTIFY OWNER AND ARCHITECT IF FIELD DIMENSIONS DIFFER BY MORE THAN 4" OR RESULT IN A CONFLICT WITH EXISTING CONDITIONS.
- 2/ DIMENSIONS GIVEN AND DOOR TAG DIMENSIONS AT DOORS INDICATE ACTUAL DOOR WIDTH. COORDINATE ROUGH OPENING AND/OR DEMOLITION FOR NEW DOORS AS REQUIRED FOR INSTALLATION OF DOOR WIDTH GIVEN.
- 3/ UNLESS NOTED DIFFERENTLY, ALL CLOSET DOOR OPENINGS ARE TO BE CENTERED ON OVERALL WIDTH OF CLOSET AS DIMENSIONED.
- 4/ UNLESS NOTE DIFFERENTLY, FINISH DOOR JAMBS ARE TO BE LOCATED 4" CLEAR FROM FACE OF NEAREST ADJACENT PERPENDICULAR WALL.
- 5/ ALL FIXTURES SHOWN IN PROPOSED UNITS ARE NEW. COORDINATE DIMENSIONS GIVEN WITH FIXTURE SELECTIONS AS REQUIRED TO INCLUDE INSTALLATION AND SERVICE AREAS.
- 6/ NEW CLOTHES CLOSETS TO HAVE STANDARD CLOSET ROD AND 12" PAINTED TOP SHELF FROM SIDE TO SIDE WITH SUPPORT BRACKETS AT 30" O.C. MAX OR CENTERED IF CLOSET WIDTH IS LESS THAN 60".
- 7/ HVAC CLOSETS AND PLATFORMS TO HAVE DRAIN PAN AND WATER RESISTANT FLOOR COVERING AS REQD BY CODE AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 8/ BATHROOMS WITH CERAMIC TILE FLOORING TO INCLUDE STONE DOOR THRESHOLD. PREPARE SUBFLOOR AND WALL SUBSTRATE AS REQUIRED FOR NEW TILE.
- 9/ LAUNDRY CLOSETS TO BE CERAMIC TILE WITH TRANSITION THRESHOLD AT INTERSECTION WITH CARPET FLOORING. PREPARE SUBFLOOR AS REQUIRED FOR NEW TILE.
- 10/ LAUNDRY CLOSETS COORDINATE WITH SPECIFIED WIDTH AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 11/ BATHROOM WALLS TO COORD W TUB ENCLOSURE. FURRED WALL TO BE ADDED FOR EXTRA WIDTH AT HEAD OR FOOT OF TUB AS INDICATED ON PLANS. WHERE TUB ABUTS RATED WALL INSURE RATING CONTINUES BEHIND TUB ENCLOSURE FULL HEIGHT OF WALL. PROVIDE TRIM TO ENCASE EXPOSED TUB FLANGE PER MANUFACTURER'S DETAILS.
- 12/ ALL NON-RATED UNIT INTERIOR PARTITIONS TO BE PARTITION TYPE 30 UNLESS OTHERWISE NOTED.
- 13/ AS REQUIRED BY IBC CHAPTER 10, MAINTAIN 36" CLEAR MINIMUM EGRESS IN APARTMENTS AND 44" CLEAR MINIMUM EGRESS IN PUBLIC AREAS.
- 14/ CLOSET AND BATHROOM FINISH CEILINGS TO BE 8'-0" AFF UNLESS OTHERWISE NOTED.
- 15/ WALK IN CLOSETS TO BE 4'-11" X 4'-11" MIN.

PARTITION TYPE LEGEND

- ◆ RATED PARTITION TYPE
 - ◇ NON-RATED PARTITION TYPE
- REFER TO FS2, FS3 AND FS4 FOR PARTITION TYPES



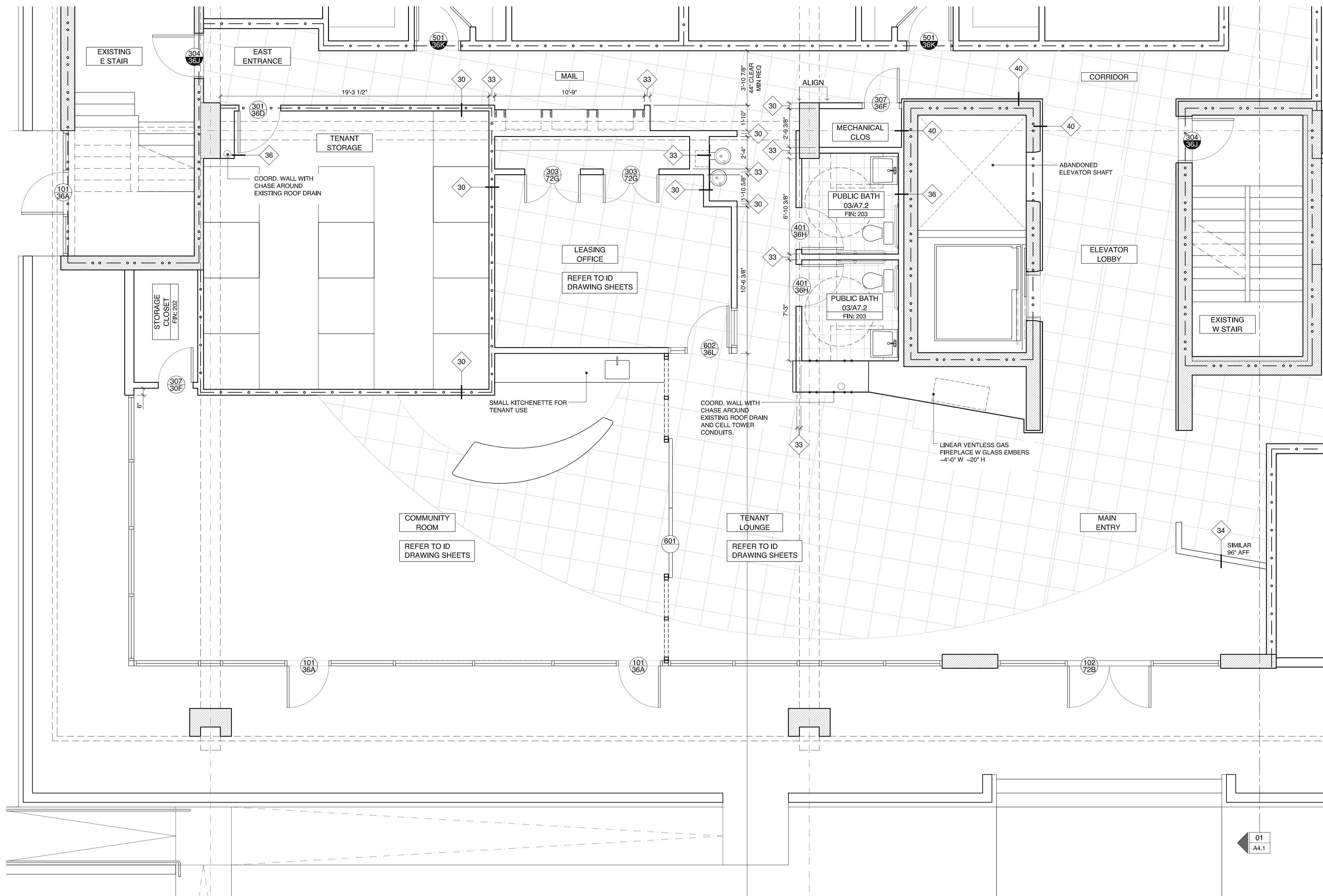
KEYPLAN

**ENLARGED
 FLOOR PLANS**

A2.4

1306.26

REFER TO 01/A2.1 FOR CONTINUATION



01
 A3.2

REFER TO 01/A3.2 FOR
 REPLACEMENT WINDOW
 CONFIGURATION.

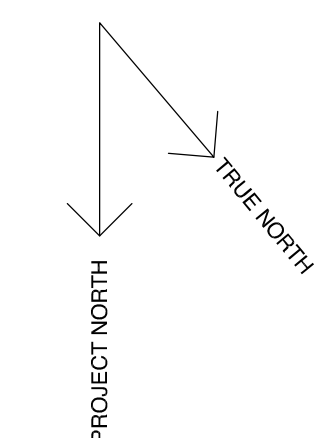
01
 A3.1

REFER TO 01/A3.1 FOR
 REPLACEMENT WINDOW
 CONFIGURATION.

01 PARTIAL AREA LEVEL 1

A2.4
 1/4" = 1'-0" 0 4 8 12 FT

REFER TO 01/A2.3 FOR CONTINUATION

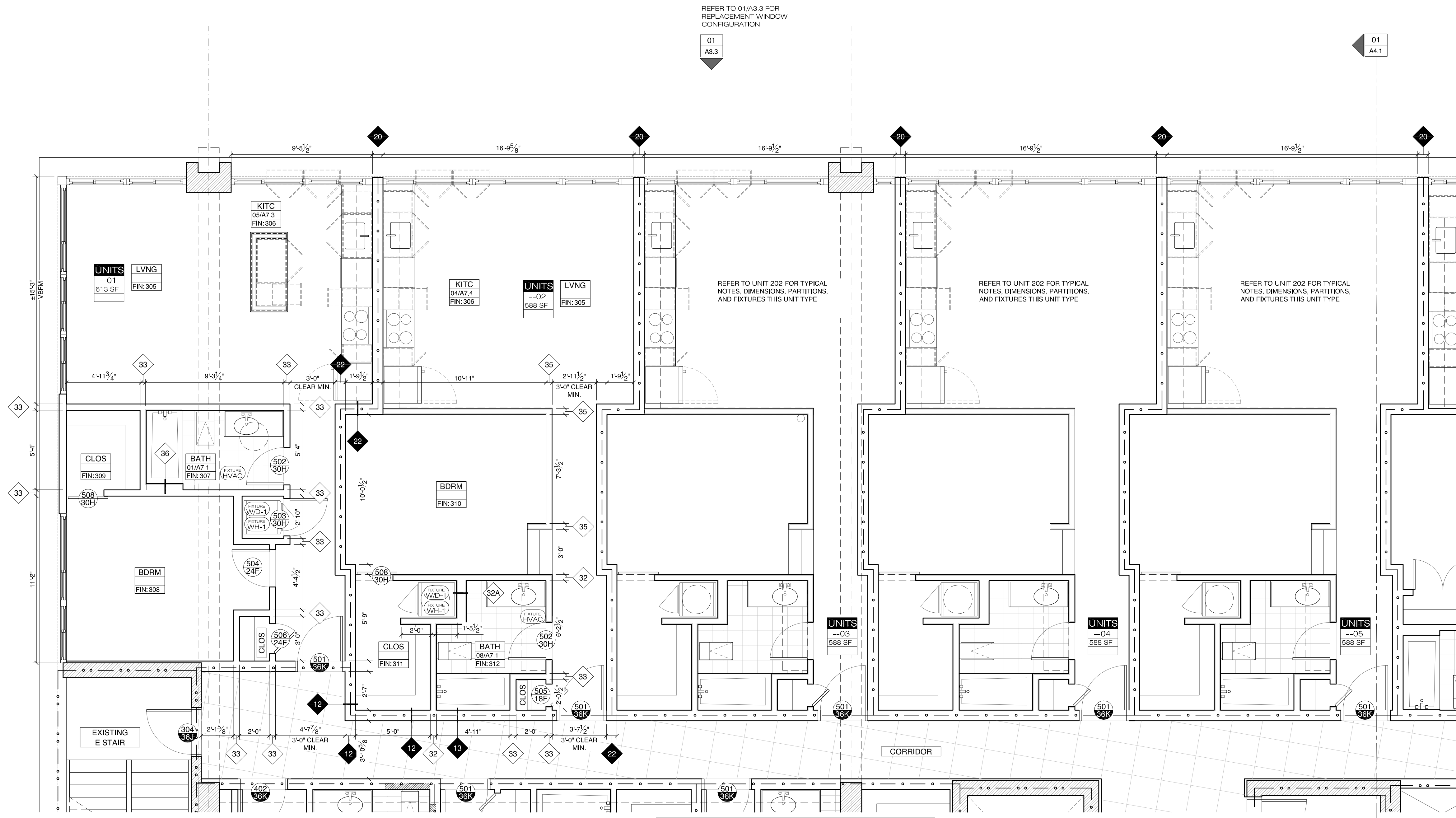
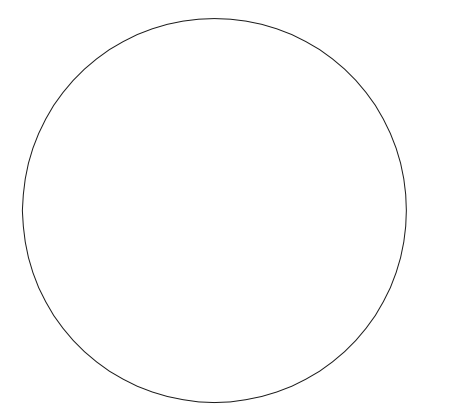


Improvements and Alterations at:
THE DANIELS BUILDING
 3805 Cutshaw Ave.
 Richmond, Virginia

**VHDA REVIEW SET
 NOT FOR CONSTRUCTION**

**GENERAL ENLARGED
PLAN NOTES**

- 1/ DIMENSIONS GIVEN AT NEW PARTITIONS ARE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED. REFER TO PARTITION SCHEDULE AND WALL ASSEMBLY DETAILS FOR ADDITIONAL INFORMATION. NOTIFY OWNER AND ARCHITECT IF FIELD DIMENSIONS DIFFER BY MORE THAN 4" OR RESULT IN A CONFLICT WITH EXISTING CONDITIONS.
- 2/ DIMENSIONS GIVEN AND DOOR TAG DIMENSIONS AT DOORS INDICATE ACTUAL DOOR WIDTH. COORDINATE ROUGH OPENING AND/OR DEMOLITION FOR NEW DOORS AS REQUIRED FOR INSTALLATION OF DOOR WIDTH GIVEN.
- 3/ UNLESS NOTED DIFFERENTLY, ALL CLOSET DOOR OPENINGS ARE TO BE CENTERED ON OVERALL WIDTH OF CLOSET AS DIMENSIONED.
- 4/ UNLESS NOTE DIFFERENTLY, FINISH DOOR JAMBS ARE TO BE LOCATED 4" CLEAR FROM FACE OF NEAREST ADJACENT PERPENDICULAR WALL.
- 5/ ALL FIXTURES SHOWN IN PROPOSED UNITS ARE NEW. COORDINATE DIMENSIONS GIVEN WITH FIXTURE SELECTIONS AS REQUIRED TO INCLUDE INSTALLATION AND SERVICE AREAS.
- 6/ NEW CLOTHES CLOSETS TO HAVE STANDARD CLOSET ROD AND 12" PAINTED TOP SHELF FROM SIDE TO SIDE WITH SUPPORT BRACKETS AT 30" O.C. MAX OR CENTERED IF CLOSET WIDTH IS LESS THAN 60".
- 7/ HVAC CLOSETS AND PLATFORMS TO HAVE DRAIN PAN AND WATER RESISTANT FLOOR COVERING AS REQ'D BY CODE AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 8/ BATHROOMS WITH CERAMIC TILE FLOORING TO INCLUDE STONE DOOR THRESHOLD. PREPARE SUBFLOOR AND WALL SUBSTRATE AS REQUIRED FOR NEW TILE.
- 9/ LAUNDRY CLOSETS TO BE CERAMIC TILE WITH TRANSITION THRESHOLD AT INTERSECTION WITH CARPET FLOORING. PREPARE SUBFLOOR AS REQUIRED FOR NEW TILE.
- 10/ LAUNDRY CLOSETS COORDINATE WITH SPECIFIED WIDTH AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 11/ BATHROOM WALLS TO COORD W/ TUB ENCLOSURE. FURRED WALL TO BE ADDED FOR EXTRA WIDTH AT HEAD OR FOOT OF TUB AS INDICATED ON PLANS. WHERE TUB ABUTS RATED WALL INSURE RATING CONTINUES BEHIND TUB ENCLOSURE FULL HEIGHT OF WALL. PROVIDE TRIM TO ENCASE EXPOSED TUB FLANGE PER MANUFACTURER'S DETAILS.
- 12/ ALL NON-RATED UNIT INTERIOR PARTITIONS TO BE PARTITION TYPE 30 UNLESS OTHERWISE NOTED.
- 13/ AS REQUIRED BY IBC CHAPTER 10, MAINTAIN 36" CLEAR MINIMUM EGRESS IN APARTMENTS AND 44" CLEAR MINIMUM EGRESS IN PUBLIC AREAS.
- 14/ CLOSET AND BATHROOM FINISH CEILINGS TO BE 8'-0" AFF UNLESS OTHERWISE NOTED.
- 15/ WALK IN CLOSETS TO BE 4'-11" X 4'-11" MIN.



REFER TO 01/A2.6 FOR CONTINUATION

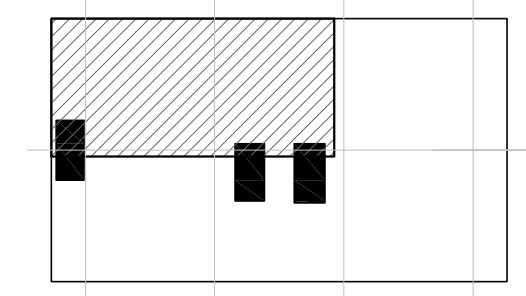
REFER TO 01/A2.8 FOR CONTINUATION

PARTITION TYPE LEGEND

- ◆ RATED PARTITION TYPE
 - ◇ NON-RATED PARTITION TYPE
- REFER TO FS2, FS3 AND FS4 FOR PARTITION TYPES

Improvements and Alterations at:
THE DANIELS BUILDING
3805 Cutshaw Ave.
Richmond, Virginia

**VHDA REVIEW SET
NOT FOR CONSTRUCTION**



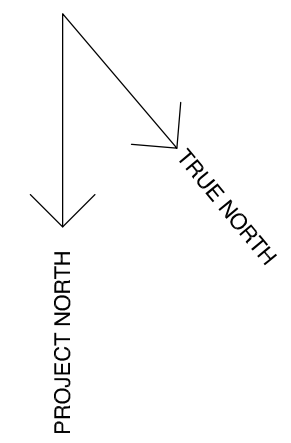
KEYPLAN

**ENLARGED
FLOOR PLANS**

A2.5

01 PARTIAL AREA TYPICAL LEVEL 2-5

A2.5
1/4" = 1'-0"
0 4 8 12 FT

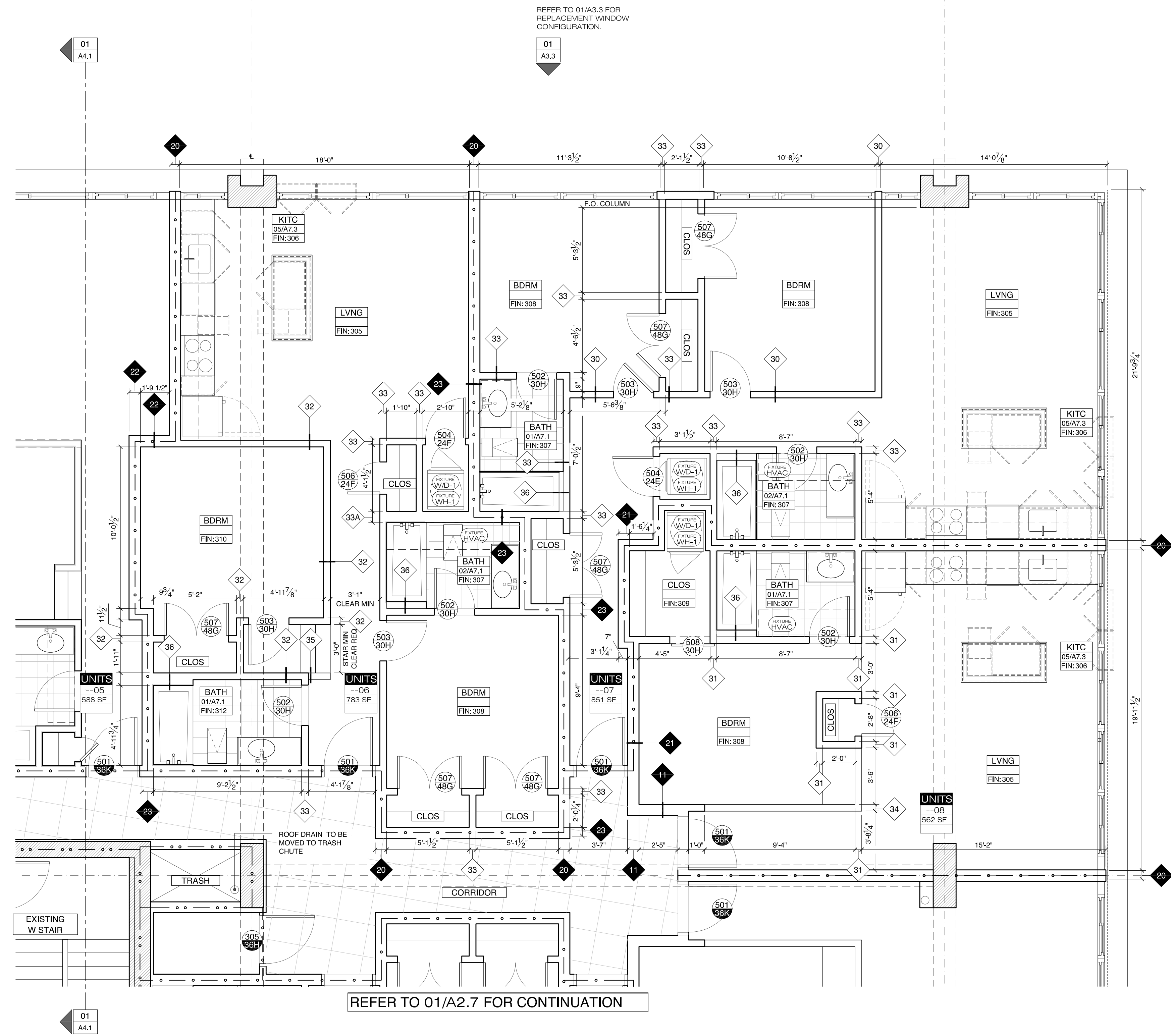


01
A3.2
REFER TO 01/A3.2 FOR REPLACEMENT WINDOW CONFIGURATION.

01
A3.3
REFER TO 01/A3.3 FOR REPLACEMENT WINDOW CONFIGURATION.

01
A4.1

01
A4.1



REFER TO 01/A3.3 FOR REPLACEMENT WINDOW CONFIGURATION.

REFER TO 01/A2.5 FOR CONTINUATION

REFER TO 01/A2.7 FOR CONTINUATION

GENERAL ENLARGED PLAN NOTES

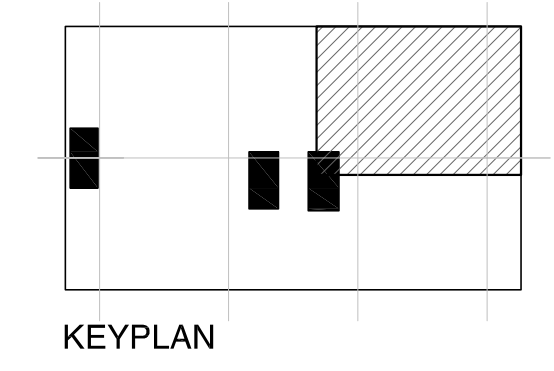
- 1/ DIMENSIONS GIVEN AT NEW PARTITIONS ARE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED. REFER TO PARTITION SCHEDULE AND WALL ASSEMBLY DETAILS FOR ADDITIONAL INFORMATION. NOTIFY OWNER AND ARCHITECT IF FIELD DIMENSIONS DIFFER BY MORE THAN 4" OR RESULT IN A CONFLICT WITH EXISTING CONDITIONS.
- 2/ DIMENSIONS GIVEN AND DOOR TAG DIMENSIONS AT DOORS INDICATE ACTUAL DOOR WIDTH. COORDINATE ROUGH OPENING AND/OR DEMOLITION FOR NEW DOORS AS REQUIRED FOR INSTALLATION OF DOOR WIDTH GIVEN.
- 3/ UNLESS NOTED DIFFERENTLY, ALL CLOSET DOOR OPENINGS ARE TO BE CENTERED ON OVERALL WIDTH OF CLOSET AS DIMENSIONED.
- 4/ UNLESS NOTE DIFFERENTLY, FINISH DOOR JAMBS ARE TO BE LOCATED 4" CLEAR FROM FACE OF NEAREST ADJACENT PERPENDICULAR WALL.
- 5/ ALL FIXTURES SHOWN IN PROPOSED UNITS ARE NEW. COORDINATE DIMENSIONS GIVEN WITH FIXTURE SELECTIONS AS REQUIRED TO INCLUDE INSTALLATION AND SERVICE AREAS.
- 6/ NEW CLOTHES CLOSETS TO HAVE STANDARD CLOSET ROD AND 12" PAINTED TOP SHELF FROM SIDE TO SIDE WITH SUPPORT BRACKETS AT 30" O.C. MAX OR CENTERED IF CLOSET WIDTH IS LESS THAN 60".
- 7/ HVAC CLOSETS AND PLATFORMS TO HAVE DRAIN PAN AND WATER RESISTANT FLOOR COVERING AS REQ'D BY CODE AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 8/ BATHROOMS WITH CERAMIC TILE FLOORING TO INCLUDE STONE DOOR THRESHOLD. PREPARE SUBFLOOR AND WALL SUBSTRATE AS REQUIRED FOR NEW TILE.
- 9/ LAUNDRY CLOSETS TO BE CERAMIC TILE WITH TRANSITION THRESHOLD AT INTERSECTION WITH CARPET FLOORING. PREPARE SUBFLOOR AS REQUIRED FOR NEW TILE.
- 10/ LAUNDRY CLOSETS COORDINATE WITH SPECIFIED WIDTH AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 11/ BATHROOM WALLS TO COORD W/ TUB ENCLOSURE. FURRED WALL TO BE ADDED FOR EXTRA WIDTH AT HEAD OR FOOT OF TUB AS INDICATED ON PLANS. WHERE TUB ABUTS RATED WALL INSURE RATING CONTINUES BEHIND TUB ENCLOSURE FULL HEIGHT OF WALL. PROVIDE TRIM TO ENCASE EXPOSED TUB FLANGE PER MANUFACTURER'S DETAILS.
- 12/ ALL NON-RATED UNIT INTERIOR PARTITIONS TO BE PARTITION TYPE 30 UNLESS OTHERWISE NOTED.
- 13/ AS REQUIRED BY IBC CHAPTER 10, MAINTAIN 36" CLEAR MINIMUM EGRESS IN APARTMENTS AND 44" CLEAR MINIMUM EGRESS IN PUBLIC AREAS.
- 14/ CLOSET AND BATHROOM FINISH CEILINGS TO BE 8'-0" AFF UNLESS OTHERWISE NOTED.
- 15/ WALK IN CLOSETS TO BE 4'-11" X 4'-11" MIN.

PARTITION TYPE LEGEND

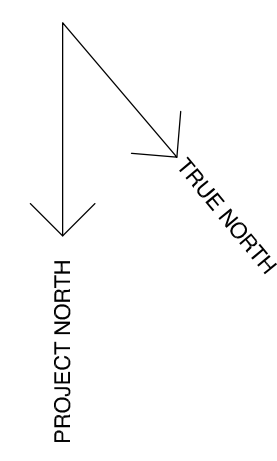
- ◆ RATED PARTITION TYPE
 - ◇ NON-RATED PARTITION TYPE
- REFER TO FS2, FS3 AND FS4 FOR PARTITION TYPES

Improvements and Alterations at:
THE DANIELS BUILDING
 3805 Cutshaw Ave.
 Richmond, Virginia

**VHDA REVIEW SET
 NOT FOR CONSTRUCTION**



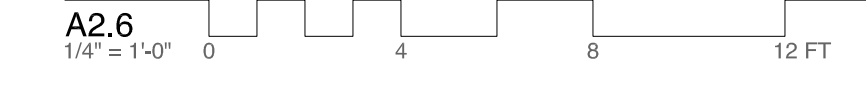
KEYPLAN



ENLARGED FLOOR PLANS

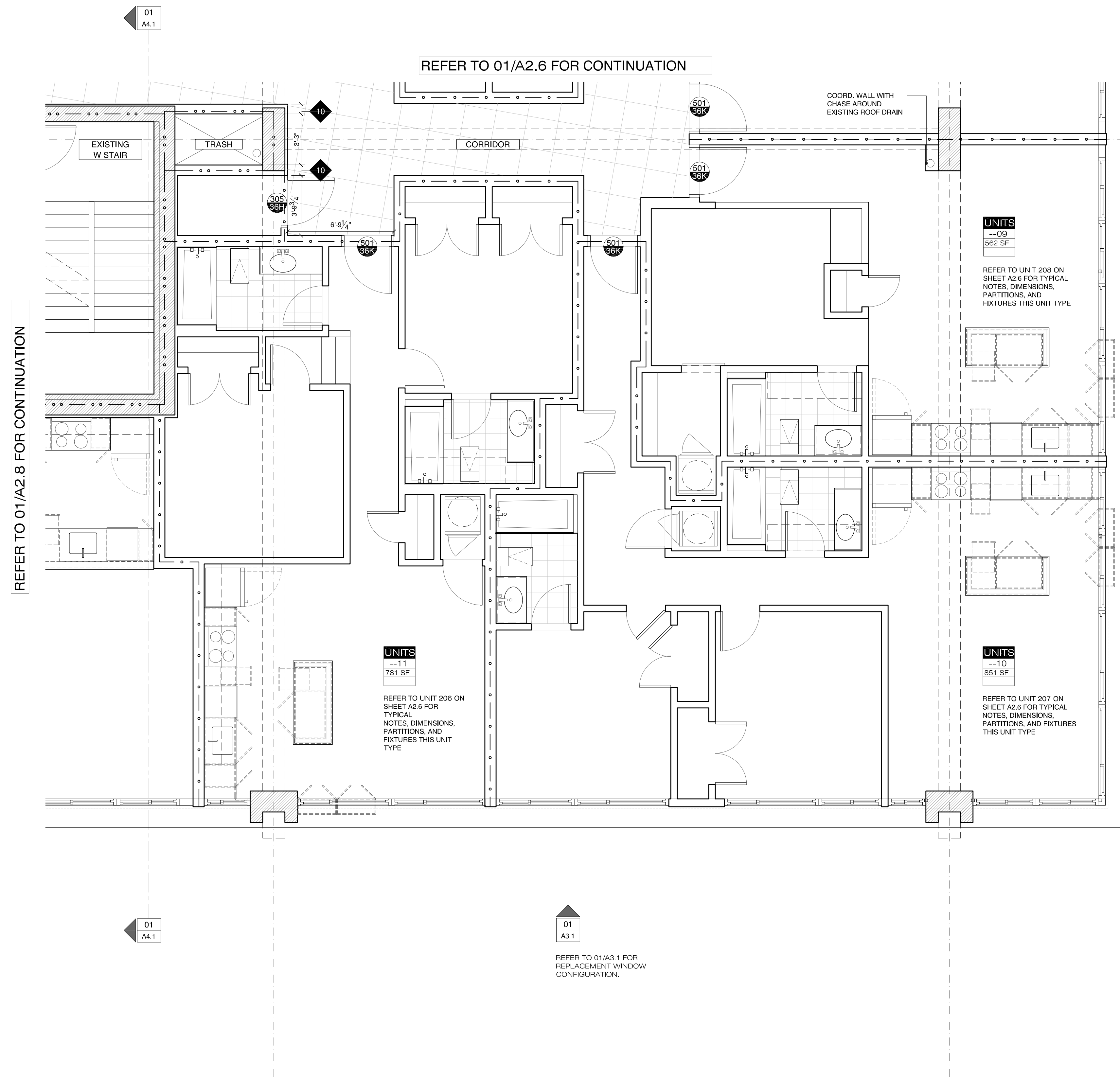
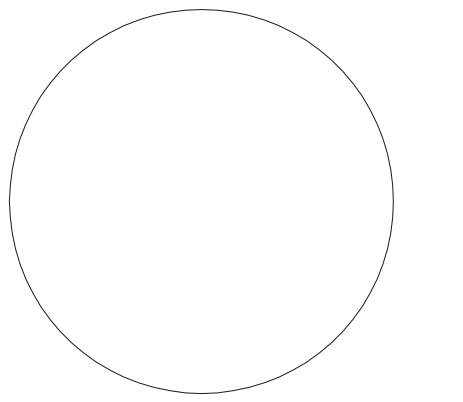
A2.6

01 PARTIAL AREA TYPICAL LEVEL 2-5



**GENERAL ENLARGED
PLAN NOTES**

- 1/ DIMENSIONS GIVEN AT NEW PARTITIONS ARE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED. REFER TO PARTITION SCHEDULE AND WALL ASSEMBLY DETAILS FOR ADDITIONAL INFORMATION. NOTIFY OWNER AND ARCHITECT IF FIELD DIMENSIONS DIFFER BY MORE THAN 4" OR RESULT IN A CONFLICT WITH EXISTING CONDITIONS.
- 2/ DIMENSIONS GIVEN AND DOOR TAG DIMENSIONS AT DOORS INDICATE ACTUAL DOOR WIDTH. COORDINATE ROUGH OPENING AND/OR DEMOLITION FOR NEW DOORS AS REQUIRED FOR INSTALLATION OF DOOR WIDTH GIVEN.
- 3/ UNLESS NOTED DIFFERENTLY, ALL CLOSET DOOR OPENINGS ARE TO BE CENTERED ON OVERALL WIDTH OF CLOSET AS DIMENSIONED.
- 4/ UNLESS NOTE DIFFERENTLY, FINISH DOOR JAMBS ARE TO BE LOCATED 4" CLEAR FROM FACE OF NEAREST ADJACENT PERPENDICULAR WALL.
- 5/ ALL FIXTURES SHOWN IN PROPOSED UNITS ARE NEW. COORDINATE DIMENSIONS GIVEN WITH FIXTURE SELECTIONS AS REQUIRED TO INCLUDE INSTALLATION AND SERVICE AREAS.
- 6/ NEW CLOTHES CLOSETS TO HAVE STANDARD CLOSET ROD AND 12" PAINTED TOP SHELF FROM SIDE TO SIDE WITH SUPPORT BRACKETS AT 30" O.C. MAX OR CENTERED IF CLOSET WIDTH IS LESS THAN 60".
- 7/ HVAC CLOSETS AND PLATFORMS TO HAVE DRAIN PAN AND WATER RESISTANT FLOOR COVERING AS REQ'D BY CODE AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 8/ BATHROOMS WITH CERAMIC TILE FLOORING TO INCLUDE STONE DOOR THRESHOLD. PREPARE SUBFLOOR AND WALL SUBSTRATE AS REQUIRED FOR NEW TILE.
- 9/ LAUNDRY CLOSETS TO BE CERAMIC TILE WITH TRANSITION THRESHOLD AT INTERSECTION WITH CARPET FLOORING. PREPARE SUBFLOOR AS REQUIRED FOR NEW TILE.
- 10/ LAUNDRY CLOSETS COORDINATE WITH SPECIFIED WIDTH AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 11/ BATHROOM WALLS TO COORD W/ TUB ENCLOSURE. FURRED WALL TO BE ADDED FOR EXTRA WIDTH AT HEAD OR FOOT OF TUB AS INDICATED ON PLANS. WHERE TUB ABUTS RATED WALL INSURE RATING CONTINUES BEHIND TUB ENCLOSURE FULL HEIGHT OF WALL. PROVIDE TRIM TO ENCASE EXPOSED TUB FLANGE PER MANUFACTURER'S DETAILS.
- 12/ ALL NON-RATED UNIT INTERIOR PARTITIONS TO BE PARTITION TYPE 30 UNLESS OTHERWISE NOTED.
- 13/ AS REQUIRED BY IBC CHAPTER 10, MAINTAIN 36" CLEAR MINIMUM EGRESS IN APARTMENTS AND 44" CLEAR MINIMUM EGRESS IN PUBLIC AREAS.
- 14/ CLOSET AND BATHROOM FINISH CEILINGS TO BE 8'-0" AFF UNLESS OTHERWISE NOTED.
- 15/ WALK IN CLOSETS TO BE 4'-11" X 4'-11" MIN.

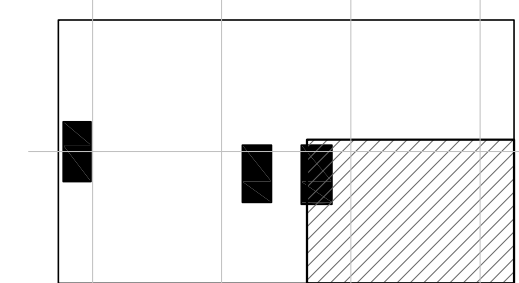


PARTITION TYPE LEGEND

- ◆ RATED PARTITION TYPE
 - ◇ NON-RATED PARTITION TYPE
- REFER TO FS2, FS3 AND FS4 FOR PARTITION TYPES

Improvements and Alterations at:
THE DANIELS BUILDING
3805 Cuthshaw Ave.
Richmond, Virginia

**VHDA REVIEW SET
NOT FOR CONSTRUCTION**



KEYPLAN

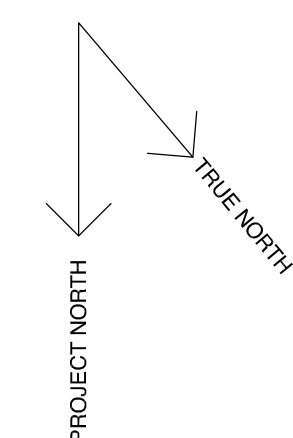
Sheet Title: **ENLARGED FLOOR PLANS**

Sheet No: **A2.7**

Scale: 1/4" = 1'-0"

Date: 1306.26

01 PARTIAL AREA TYPICAL LEVEL 2-5
A2.7
1/4" = 1'-0"

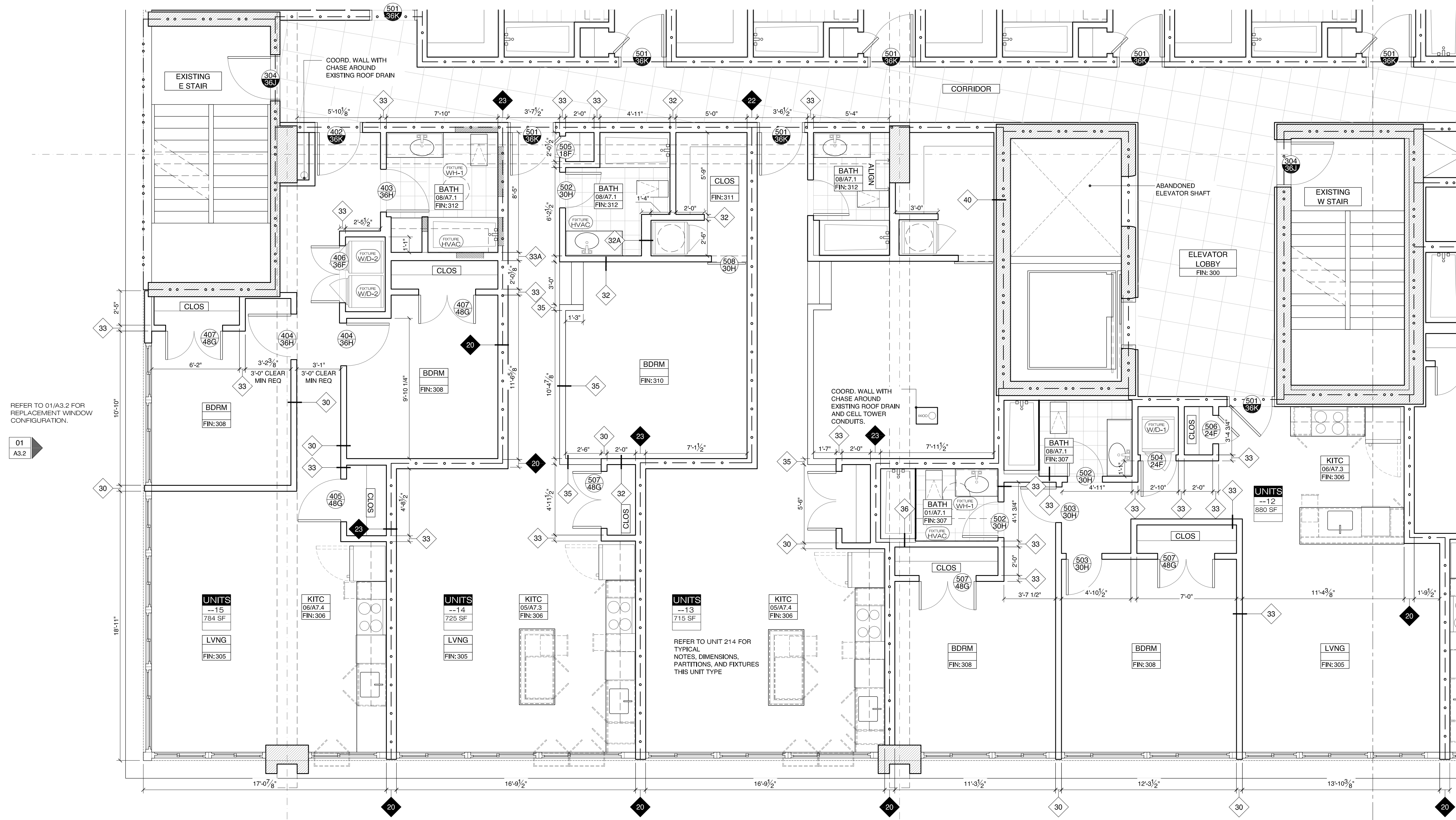


**GENERAL ENLARGED
PLAN NOTES**

- 1/ DIMENSIONS GIVEN AT NEW PARTITIONS ARE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED. REFER TO PARTITION SCHEDULE AND WALL ASSEMBLY DETAILS FOR ADDITIONAL INFORMATION. NOTIFY OWNER AND ARCHITECT IF FIELD DIMENSIONS DIFFER BY MORE THAN 4" OR RESULT IN A CONFLICT WITH EXISTING CONDITIONS.
- 2/ DIMENSIONS GIVEN AND DOOR TAG DIMENSIONS AT DOORS INDICATE ACTUAL DOOR WIDTH. COORDINATE ROUGH OPENING AND/OR DEMOLITION FOR NEW DOORS AS REQUIRED FOR INSTALLATION OF DOOR WIDTH GIVEN.
- 3/ UNLESS NOTED DIFFERENTLY, ALL CLOSET DOOR OPENINGS ARE TO BE CENTERED ON OVERALL WIDTH OF CLOSET AS DIMENSIONED.
- 4/ UNLESS NOTE DIFFERENTLY, FINISH DOOR JAMBS ARE TO BE LOCATED 4" CLEAR FROM FACE OF NEAREST ADJACENT PERPENDICULAR WALL.
- 5/ ALL FIXTURES SHOWN IN PROPOSED UNITS ARE NEW. COORDINATE DIMENSIONS GIVEN WITH FIXTURE SELECTIONS AS REQUIRED TO INCLUDE INSTALLATION AND SERVICE AREAS.
- 6/ NEW CLOTHES CLOSETS TO HAVE STANDARD CLOSET ROD AND 12" PAINTED TOP SHELF FROM SIDE TO SIDE WITH SUPPORT BRACKETS AT 30" O.C. MAX OR CENTERED IF CLOSET WIDTH IS LESS THAN 60".
- 7/ HVAC CLOSETS AND PLATFORMS TO HAVE DRAIN PAN AND WATER RESISTANT FLOOR COVERING AS REQ'D BY CODE AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 8/ BATHROOMS WITH CERAMIC TILE FLOORING TO INCLUDE STONE DOOR THRESHOLD. PREPARE SUBFLOOR AND WALL SUBSTRATE AS REQUIRED FOR NEW TILE.
- 9/ LAUNDRY CLOSETS TO BE CERAMIC TILE WITH TRANSITION THRESHOLD AT INTERSECTION WITH CARPET FLOORING. PREPARE SUBFLOOR AS REQUIRED FOR NEW TILE.
- 10/ LAUNDRY CLOSETS COORDINATE WITH SPECIFIED WIDTH AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 11/ BATHROOM WALLS TO COORD W/ TUB ENCLOSURE. FURRED WALL TO BE ADDED FOR EXTRA WIDTH AT HEAD OR FOOT OF TUB AS INDICATED ON PLANS. WHERE TUB ABUTS RATED WALL, INSURE RATING CONTINUES BEHIND TUB ENCLOSURE FULL HEIGHT OF WALL. PROVIDE TRIM TO ENCASE EXPOSED TUB FLANGE PER MANUFACTURER'S DETAILS.
- 12/ ALL NON-RATED UNIT INTERIOR PARTITIONS TO BE PARTITION TYPE 30 UNLESS OTHERWISE NOTED.
- 13/ AS REQUIRED BY IBC CHAPTER 10, MAINTAIN 36" CLEAR MINIMUM EGRESS IN APARTMENTS AND 44" CLEAR MINIMUM EGRESS IN PUBLIC AREAS.
- 14/ CLOSET AND BATHROOM FINISH CEILING TO BE 8'-0" AFF UNLESS OTHERWISE NOTED.
- 15/ WALK IN CLOSETS TO BE 4'-11" X 4'-11" MIN.

REFER TO 01/A2.5 FOR CONTINUATION

REFER TO 01/A2.7 FOR CONTINUATION



REFER TO 01/A3.2 FOR REPLACEMENT WINDOW CONFIGURATION.

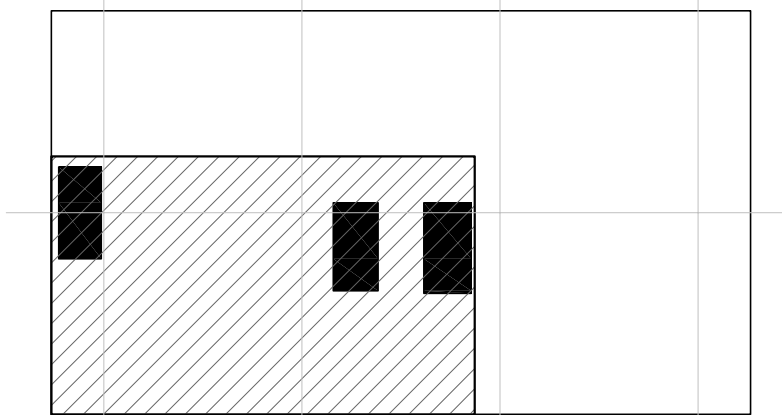
01
A3.1
REFER TO 01/A3.1 FOR REPLACEMENT WINDOW CONFIGURATION.

PARTITION TYPE LEGEND

- ◆ RATED PARTITION TYPE
 - ◇ NON-RATED PARTITION TYPE
- REFER TO FS2, FS3 AND FS4 FOR PARTITION TYPES

Improvements and Alterations at:
THE DANIELS BUILDING
3805 Cutshaw Ave.
Richmond, Virginia

**VHDA REVIEW SET
NOT FOR CONSTRUCTION**

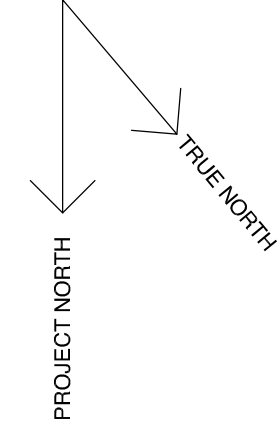


KEYPLAN

**ENLARGED
FLOOR PLANS**

A2.8

01 PARTIAL AREA TYPICAL LEVEL 2-5
A2.8
1/4" = 1'-0"

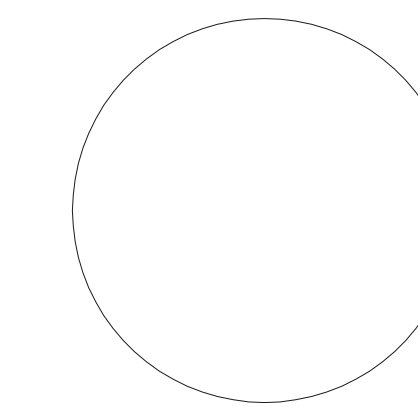


REFER TO 01/A2.5 FOR CONTINUATION

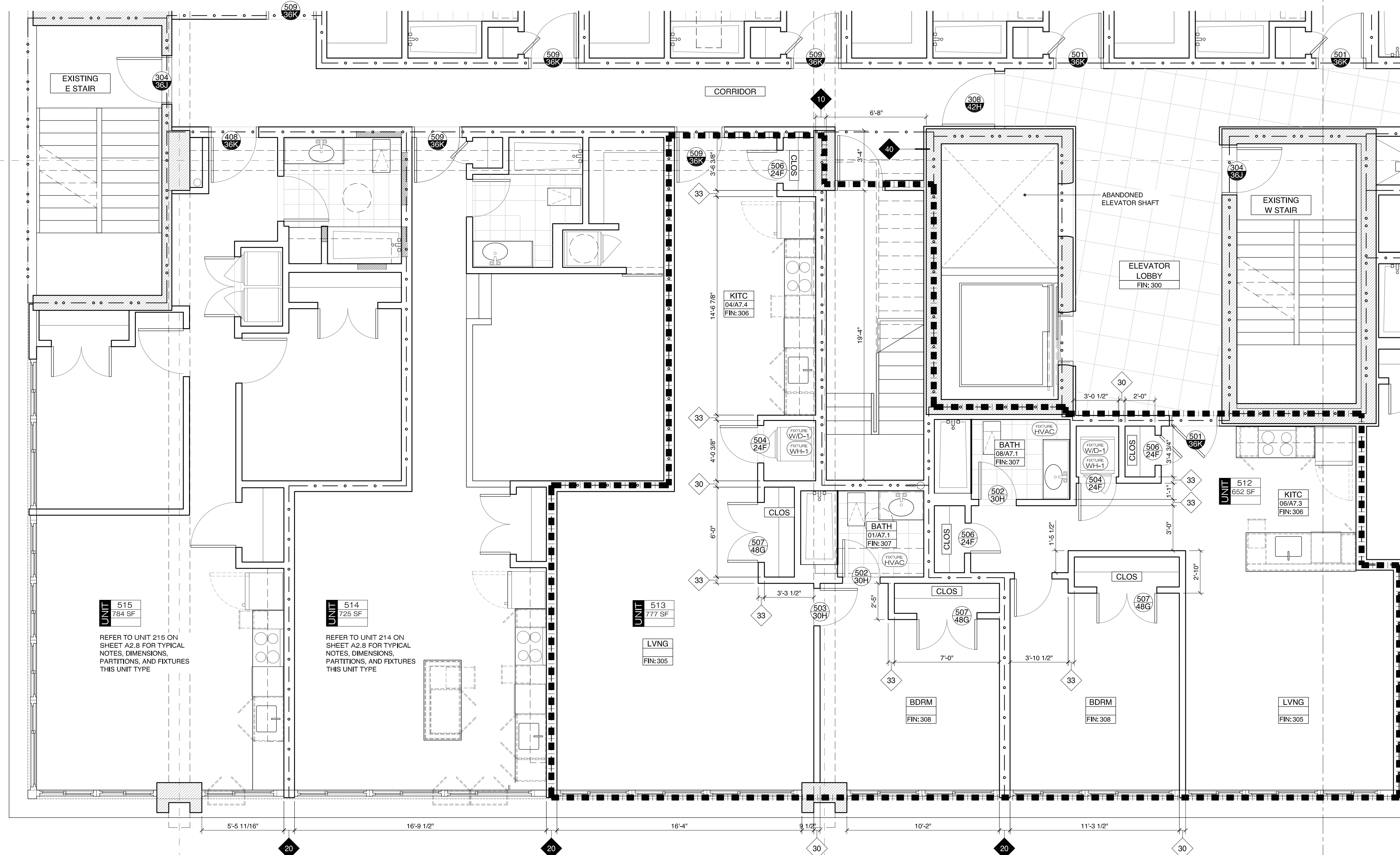
GENERAL ENLARGED PLAN NOTES

- 1/ DIMENSIONS GIVEN AT NEW PARTITIONS ARE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED. REFER TO PARTITION SCHEDULE AND WALL ASSEMBLY DETAILS FOR ADDITIONAL INFORMATION. NOTIFY OWNER AND ARCHITECT IF FIELD DIMENSIONS DIFFER BY MORE THAN 4" OR RESULT IN A CONFLICT WITH EXISTING CONDITIONS.
- 2/ DIMENSIONS GIVEN AND DOOR TAG DIMENSIONS AT DOORS INDICATE ACTUAL DOOR WIDTH. COORDINATE ROUGH OPENING AND/OR DEMOLITION FOR NEW DOORS AS REQUIRED FOR INSTALLATION OF DOOR WIDTH GIVEN.
- 3/ UNLESS NOTED DIFFERENTLY, ALL CLOSET DOOR OPENINGS ARE TO BE CENTERED ON OVERALL WIDTH OF CLOSET AS DIMENSIONED.
- 4/ UNLESS NOTE DIFFERENTLY, FINISH DOOR JAMBS ARE TO BE LOCATED 4" CLEAR FROM FACE OF NEAREST ADJACENT PERPENDICULAR WALL.
- 5/ ALL FIXTURES SHOWN IN PROPOSED UNITS ARE NEW. COORDINATE DIMENSIONS GIVEN WITH FIXTURE SELECTIONS AS REQUIRED TO INCLUDE INSTALLATION AND SERVICE AREAS.
- 6/ NEW CLOTHES CLOSETS TO HAVE STANDARD CLOSET ROD AND 12" PAINTED TOP SHELF FROM SIDE TO SIDE WITH SUPPORT BRACKETS AT 30" O.C. MAX OR CENTERED IF CLOSET WIDTH IS LESS THAN 60".
- 7/ HVAC CLOSETS AND PLATFORMS TO HAVE DRAIN PAN AND WATER RESISTANT FLOOR COVERING AS REQ'D BY CODE AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 8/ BATHROOMS WITH CERAMIC TILE FLOORING TO INCLUDE STONE DOOR THRESHOLD. PREPARE SUBFLOOR AND WALL SUBSTRATE AS REQUIRED FOR NEW TILE.
- 9/ LAUNDRY CLOSETS TO BE CERAMIC TILE WITH TRANSITION THRESHOLD AT INTERSECTION WITH CARPET FLOORING. PREPARE SUBFLOOR AS REQUIRED FOR NEW TILE.
- 10/ LAUNDRY CLOSETS COORDINATE WITH SPECIFIED WIDTH AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 11/ BATHROOM WALLS TO COORD W/ TUB ENCLOSURE. FURRED WALL TO BE ADDED FOR EXTRA WIDTH AT HEAD OR FOOT OF TUB AS INDICATED ON PLANS. WHERE TUB ABUTS RATED WALL INSURE RATING CONTINUES BEHIND TUB ENCLOSURE FULL HEIGHT OF WALL. PROVIDE TRIM TO ENCASE EXPOSED TUB FLANGE PER MANUFACTURER'S DETAILS.
- 12/ ALL NON-RATED UNIT INTERIOR PARTITIONS TO BE PARTITION TYPE 30 UNLESS OTHERWISE NOTED.
- 13/ AS REQUIRED BY IBC CHAPTER 10, MAINTAIN 36" CLEAR MINIMUM EGRESS IN APARTMENTS AND 44" CLEAR MINIMUM EGRESS IN PUBLIC AREAS.
- 14/ CLOSET AND BATHROOM FINISH CEILINGS TO BE 8'-0" AFF UNLESS OTHERWISE NOTED.
- 15/ WALK IN CLOSETS TO BE 4'-11" X 4'-11" MIN.

ARCHITECTURE DESIGN OFFICE
 105 E BROAD ST
 804/343.1212
 info@architecturedesignoffice.com



REFER TO 01/A2.7 FOR CONTINUATION



01 A3.2
 REFER TO 01/A3.2 FOR REPLACEMENT WINDOW CONFIGURATION.

UNIT 515
 784 SF
 REFER TO UNIT 215 ON SHEET A2.8 FOR TYPICAL NOTES, DIMENSIONS, PARTITIONS, AND FIXTURES THIS UNIT TYPE

UNIT 514
 725 SF
 REFER TO UNIT 214 ON SHEET A2.8 FOR TYPICAL NOTES, DIMENSIONS, PARTITIONS, AND FIXTURES THIS UNIT TYPE

UNIT 513
 777 SF
 LVNG
 FIN:305

01 A3.1
 REFER TO 01/A3.1 FOR REPLACEMENT WINDOW CONFIGURATION.

01 A4.1

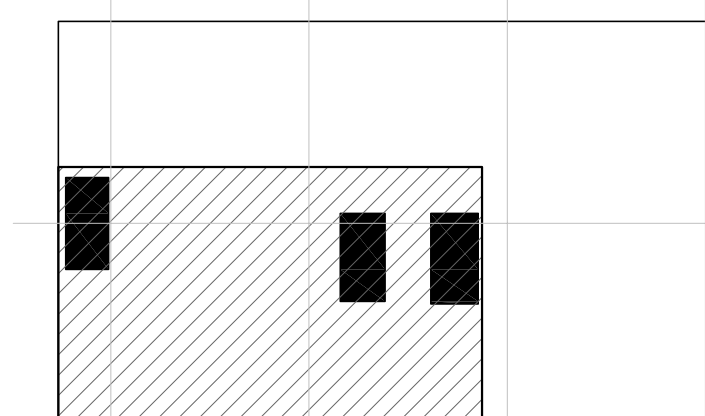
PARTITION TYPE LEGEND

- ◆ RATED PARTITION TYPE
- ◇ NON-RATED PARTITION TYPE

REFER TO FS2, FS3 AND FS4 FOR PARTITION TYPES

Improvements and Alterations at:
THE DANIELS BUILDING
 3805 Cuthshaw Ave.
 Richmond, Virginia

**VHDA REVIEW SET
 NOT FOR CONSTRUCTION**



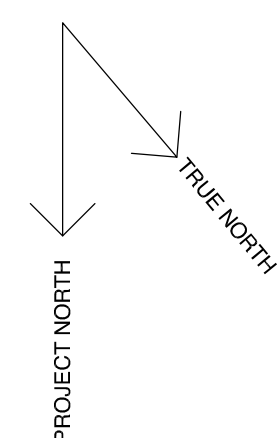
KEYPLAN

ENLARGED FLOOR PLANS

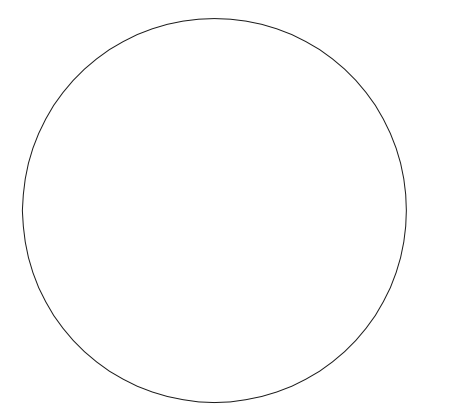
A2.9

01 PARTIAL AREA LEVEL 5

A2.8 1/4" = 1'-0" 0 4 8 12 FT



1306.26



GENERAL ENLARGED PLAN NOTES

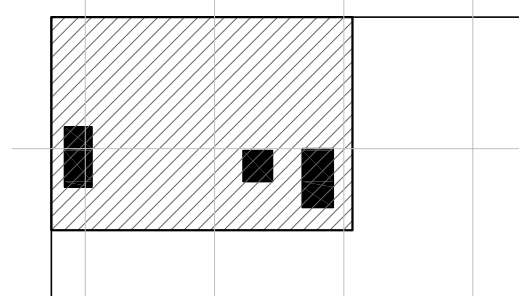
- 1/ DIMENSIONS GIVEN AT NEW PARTITIONS ARE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED. REFER TO PARTITION SCHEDULE AND WALL ASSEMBLY DETAILS FOR ADDITIONAL INFORMATION. NOTIFY OWNER AND ARCHITECT IF FIELD DIMENSIONS DIFFER BY MORE THAN 4" OR RESULT IN A CONFLICT WITH EXISTING CONDITIONS.
- 2/ DIMENSIONS GIVEN AND DOOR TAG DIMENSIONS AT DOORS INDICATE ACTUAL DOOR WIDTH. COORDINATE ROUGH OPENING AND/OR DEMOLITION FOR NEW DOORS AS REQUIRED FOR INSTALLATION OF DOOR WIDTH GIVEN.
- 3/ UNLESS NOTED DIFFERENTLY, ALL CLOSET DOOR OPENINGS ARE TO BE CENTERED ON OVERALL WIDTH OF CLOSET AS DIMENSIONED.
- 4/ UNLESS NOTE DIFFERENTLY, FINISH DOOR JAMBS ARE TO BE LOCATED 4" CLEAR FROM FACE OF NEAREST ADJACENT PERPENDICULAR WALL.
- 5/ ALL FIXTURES SHOWN IN PROPOSED UNITS ARE NEW. COORDINATE DIMENSIONS GIVEN WITH FIXTURE SELECTIONS AS REQUIRED TO INCLUDE INSTALLATION AND SERVICE AREAS.
- 6/ NEW CLOTHES CLOSETS TO HAVE STANDARD CLOSET ROD AND 12" PAINTED TOP SHELF FROM SIDE TO SIDE WITH SUPPORT BRACKETS AT 30" O.C. MAX OR CENTERED IF CLOSET WIDTH IS LESS THAN 60".
- 7/ HVAC CLOSETS AND PLATFORMS TO HAVE DRAIN PAN AND WATER RESISTANT FLOOR COVERING AS REQ'D BY CODE AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 8/ BATHROOMS WITH CERAMIC TILE FLOORING TO INCLUDE STONE DOOR THRESHOLD. PREPARE SUBFLOOR AND WALL SUBSTRATE AS REQUIRED FOR NEW TILE.
- 9/ LAUNDRY CLOSETS TO BE CERAMIC TILE WITH TRANSITION THRESHOLD AT INTERSECTION WITH CARPET FLOORING. PREPARE SUBFLOOR AS REQUIRED FOR NEW TILE.
- 10/ LAUNDRY CLOSETS COORDINATE WITH SPECIFIED WIDTH AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 11/ BATHROOM WALLS TO COORD W TUB ENCLOSURE. FURRED WALL TO BE ADDED FOR EXTRA WIDTH AT HEAD OR FOOT OF TUB AS INDICATED ON PLANS. WHERE TUB ABUTS RATED WALL INSURE RATING CONTINUES BEHIND TUB ENCLOSURE FULL HEIGHT OF WALL. PROVIDE TRIM TO ENCASE EXPOSED TUB FLANGE PER MANUFACTURER'S DETAILS.
- 12/ ALL NON-RATED UNIT INTERIOR PARTITIONS TO BE PARTITION TYPE 30 UNLESS OTHERWISE NOTED.
- 13/ AS REQUIRED BY IBC CHAPTER 10, MAINTAIN 36" CLEAR MINIMUM EGRESS IN APARTMENTS AND 44" CLEAR MINIMUM EGRESS IN PUBLIC AREAS.
- 14/ CLOSET AND BATHROOM FINISH CEILINGS TO BE 8'-0" AFF UNLESS OTHERWISE NOTED.
- 15/ WALK IN CLOSETS TO BE 4'-11" X 4'-11" MIN.

PARTITION TYPE LEGEND

- ◆ RATED PARTITION TYPE
 - ◇ NON-RATED PARTITION TYPE
- REFER TO FS2, FS3 AND FS4 FOR PARTITION TYPES

PARTITION TYPES

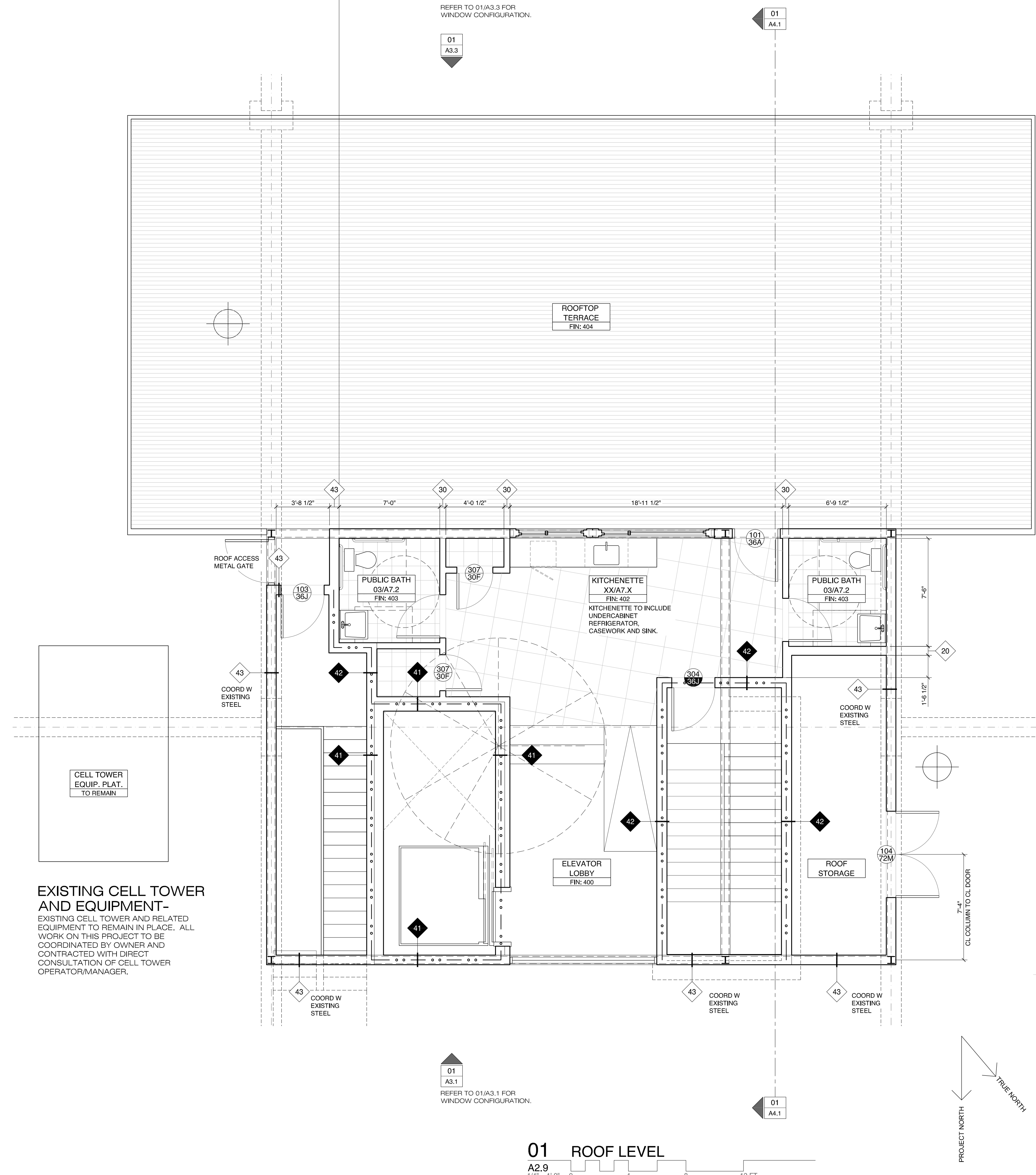
- ◆41 EXTENSION OF RATED EXISTING MASONRY SHAFT WALL WITH NEW GWB ON CHANNEL/STUD ON 'EXTERIOR' FOR FINISH LOOK.
- ◆42 NEW 2-HOUR FRAMED WALL AT STAIR EXTENSIONS @ ROOF.
- ◆43 NEW NON-RATED EXTERIOR WALL @ ROOF POP-UP



KEYPLAN

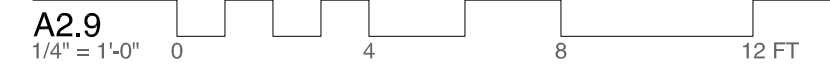
ENLARGED FLOOR PLANS

A2.10

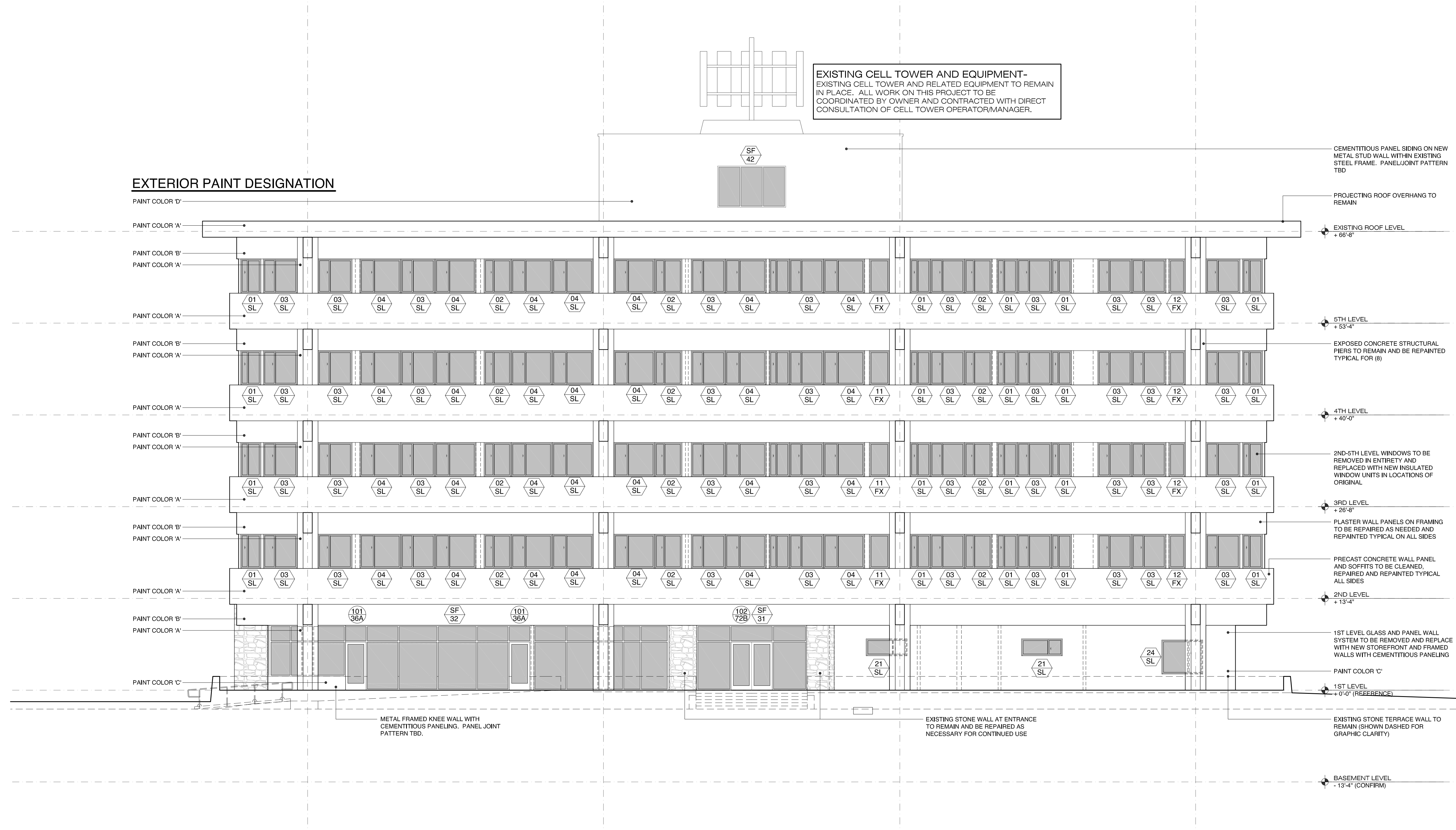
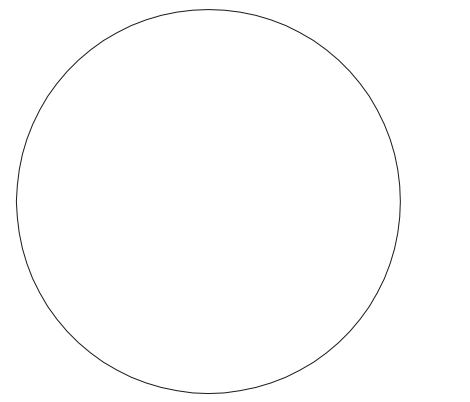


EXISTING CELL TOWER AND EQUIPMENT-
 EXISTING CELL TOWER AND RELATED EQUIPMENT TO REMAIN IN PLACE. ALL WORK ON THIS PROJECT TO BE COORDINATED BY OWNER AND CONTRACTED WITH DIRECT CONSULTATION OF CELL TOWER OPERATOR/MANAGER.

01 ROOF LEVEL



THE DANIELS BUILDING
 Improvements and Alterations at:
 3805 Cuthshaw Ave.
 Richmond, Virginia
VHDA REVIEW SET
NOT FOR CONSTRUCTION



EXISTING CELL TOWER AND EQUIPMENT-
 EXISTING CELL TOWER AND RELATED EQUIPMENT TO REMAIN IN PLACE. ALL WORK ON THIS PROJECT TO BE COORDINATED BY OWNER AND CONTRACTED WITH DIRECT CONSULTATION OF CELL TOWER OPERATOR/MANAGER.

EXTERIOR PAINT DESIGNATION

PAINT COLOR 'D'
 PAINT COLOR 'A'
 PAINT COLOR 'B'
 PAINT COLOR 'A'
 PAINT COLOR 'A'
 PAINT COLOR 'B'
 PAINT COLOR 'A'
 PAINT COLOR 'A'
 PAINT COLOR 'B'
 PAINT COLOR 'A'
 PAINT COLOR 'A'
 PAINT COLOR 'B'
 PAINT COLOR 'A'
 PAINT COLOR 'A'
 PAINT COLOR 'B'
 PAINT COLOR 'A'
 PAINT COLOR 'A'
 PAINT COLOR 'C'

CEMENTITIOUS PANEL SIDING ON NEW METAL STUD WALL WITHIN EXISTING STEEL FRAME. PANEL JOINT PATTERN TBD
 PROJECTING ROOF OVERHANG TO REMAIN
 EXISTING ROOF LEVEL +66'-8"
 5TH LEVEL +53'-4"
 EXPOSED CONCRETE STRUCTURAL PIERS TO REMAIN AND BE REPAINTED TYPICAL FOR (8)
 4TH LEVEL +40'-0"
 2ND-5TH LEVEL WINDOWS TO BE REMOVED IN ENTIRETY AND REPLACED WITH NEW INSULATED WINDOW UNITS IN LOCATIONS OF ORIGINAL
 3RD LEVEL +28'-8"
 PLASTER WALL PANELS ON FRAMING TO BE REPAIRED AS NEEDED AND REPAINTED TYPICAL ON ALL SIDES
 PRECAST CONCRETE WALL PANEL AND SOFFITS TO BE CLEANED, REPAIRED AND REPAINTED TYPICAL ALL SIDES
 2ND LEVEL +13'-4"
 1ST LEVEL GLASS AND PANEL WALL SYSTEM TO BE REMOVED AND REPLACE WITH NEW STOREFRONT AND FRAMED WALLS WITH CEMENTITIOUS PANELING
 PAINT COLOR 'C'
 1ST LEVEL +0'-0" (REFERENCE)
 EXISTING STONE TERRACE WALL TO REMAIN (SHOWN DASHED FOR GRAPHIC CLARITY)
 BASEMENT LEVEL +13'-4" (CONFIRM)

METAL FRAMED KNEE WALL WITH CEMENTITIOUS PANELING. PANEL JOINT PATTERN TBD.

EXISTING STONE WALL AT ENTRANCE TO REMAIN AND BE REPAIRED AS NECESSARY FOR CONTINUED USE

01 NORTH/CUTSHAW AVE ELEVATION

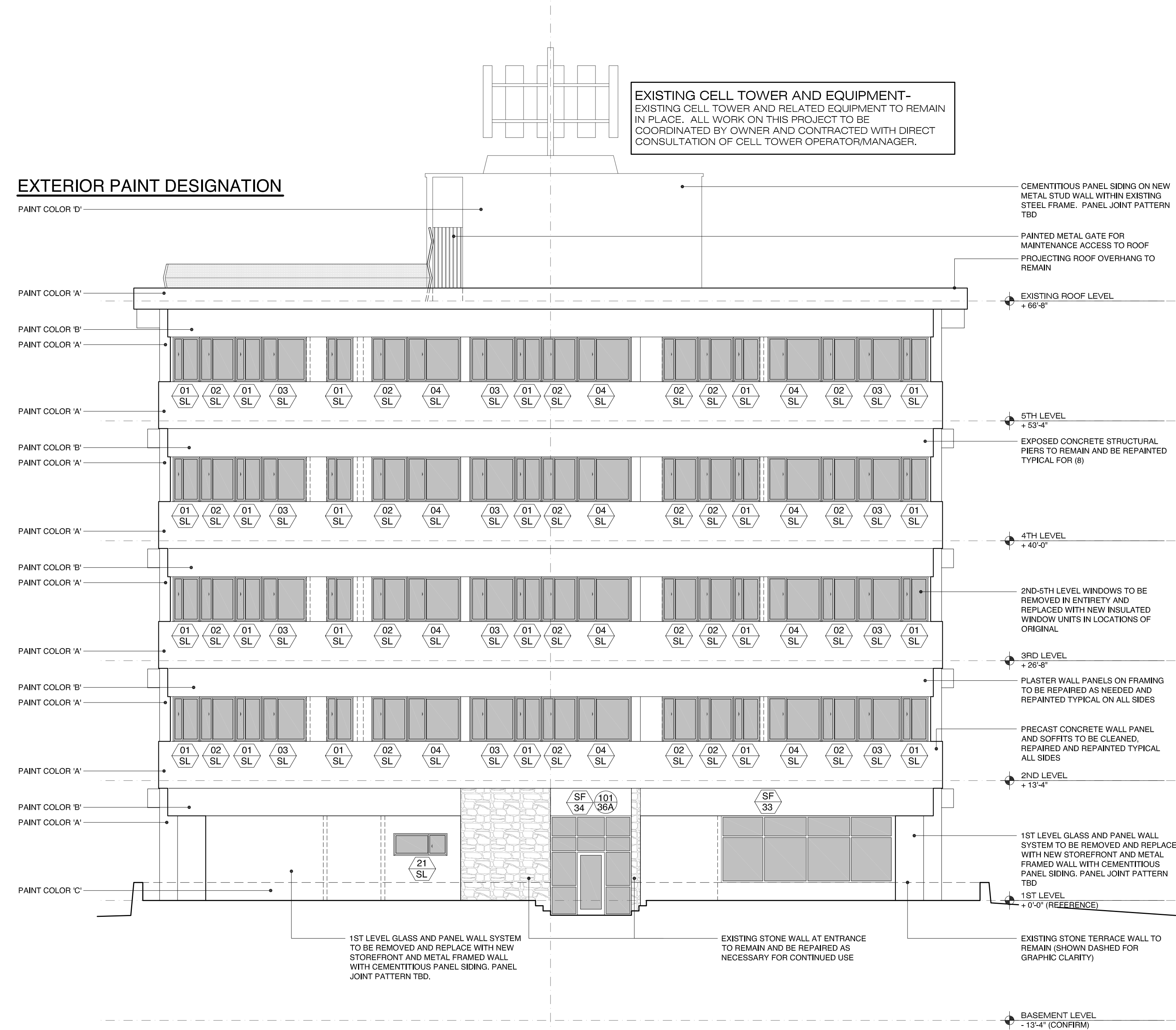
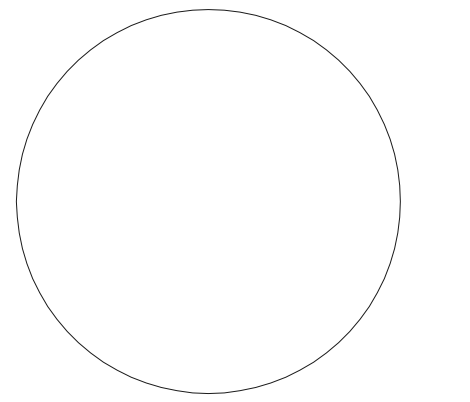
A3.1
 1/8" = 1'-0"
 0 8 16 24 FT

Improvements and Alterations at:
THE DANIELS BUILDING
 3805 Cutshaw Ave.
 Richmond, Virginia
VHDA REVIEW SET
NOT FOR CONSTRUCTION

BUILDING ELEVATIONS

A3.1

DATE PLOTTED: 13/06/20



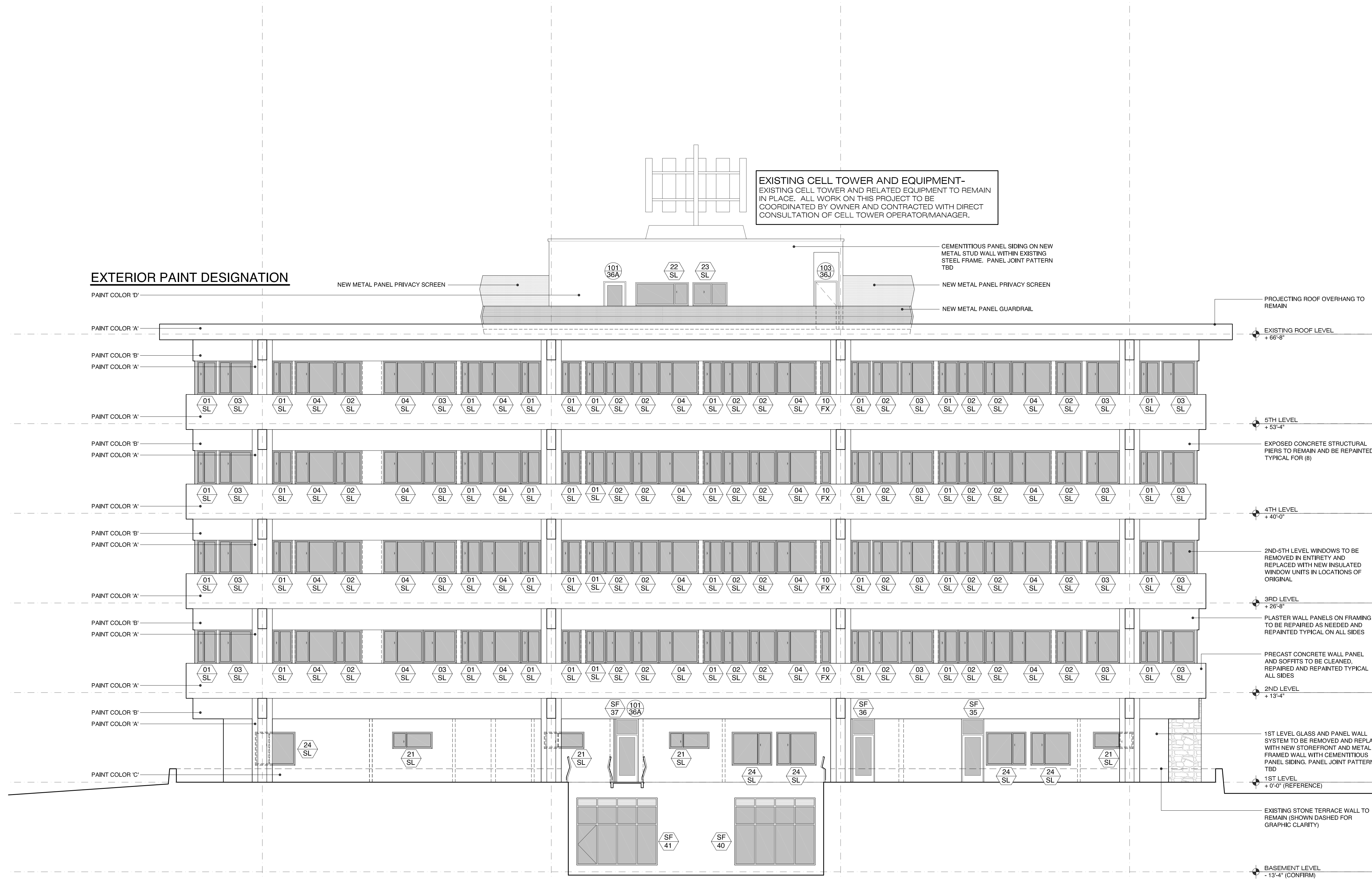
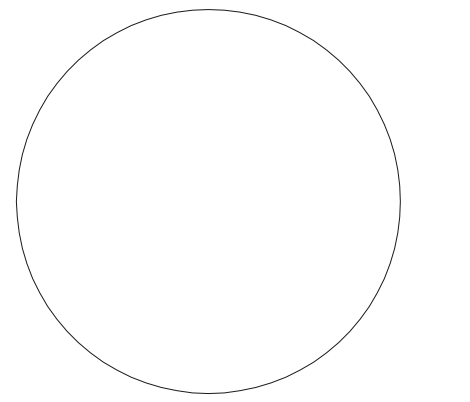
01 EAST/PARKING AREA ELEVATION

A3.2
 1/8" = 1'-0"



Improvements and Alterations at:
THE DANIELS BUILDING
 3805 Cuthshaw Ave.
 Richmond, Virginia

VHDA REVIEW SET
NOT FOR CONSTRUCTION



EXISTING CELL TOWER AND EQUIPMENT-
 EXISTING CELL TOWER AND RELATED EQUIPMENT TO REMAIN
 IN PLACE. ALL WORK ON THIS PROJECT TO BE
 COORDINATED BY OWNER AND CONTRACTED WITH DIRECT
 CONSULTATION OF CELL TOWER OPERATOR/MANAGER.

EXTERIOR PAINT DESIGNATION

CEMENTITIOUS PANEL SIDING ON NEW
 METAL STUD WALL WITH EXISTING
 STEEL FRAME. PANEL JOINT PATTERN
 TBD

NEW METAL PANEL PRIVACY SCREEN

NEW METAL PANEL GUARDRAIL

PROJECTING ROOF OVERHANG TO
 REMAIN

EXISTING ROOF LEVEL
 +66'-8"

5TH LEVEL
 +53'-4"

EXPOSED CONCRETE STRUCTURAL
 PIERS TO REMAIN AND BE REPAINTED
 TYPICAL FOR (6)

4TH LEVEL
 +40'-0"

2ND-5TH LEVEL WINDOWS TO BE
 REMOVED IN ENTIRETY AND
 REPLACED WITH NEW INSULATED
 WINDOW UNITS IN LOCATIONS OF
 ORIGINAL

3RD LEVEL
 +26'-8"

PLASTER WALL PANELS ON FRAMING
 TO BE REPAIRED AS NEEDED AND
 REPAINTED TYPICAL ON ALL SIDES

PRECAST CONCRETE WALL PANEL
 AND SOFFITS TO BE CLEANED,
 REPAIRED AND REPAINTED TYPICAL
 ALL SIDES

2ND LEVEL
 +13'-4"

1ST LEVEL GLASS AND PANEL WALL
 SYSTEM TO BE REMOVED AND REPLACE
 WITH NEW STOREFRONT AND METAL
 FRAMED WALL WITH CEMENTITIOUS
 PANEL SIDING. PANEL JOINT PATTERN
 TBD

1ST LEVEL
 +0'-0" (REFERENCE)

EXISTING STONE TERRACE WALL TO
 REMAIN (SHOWN DASHED FOR
 GRAPHIC CLARITY)

BASEMENT LEVEL
 -13'-4" (CONFIRM)

Improvements and Alterations at:
THE DANIELS BUILDING
 3805 Cuthshaw Ave.
 Richmond, Virginia

VHDA REVIEW SET
NOT FOR CONSTRUCTION

01 SOUTH/ALLEY ELEVATION

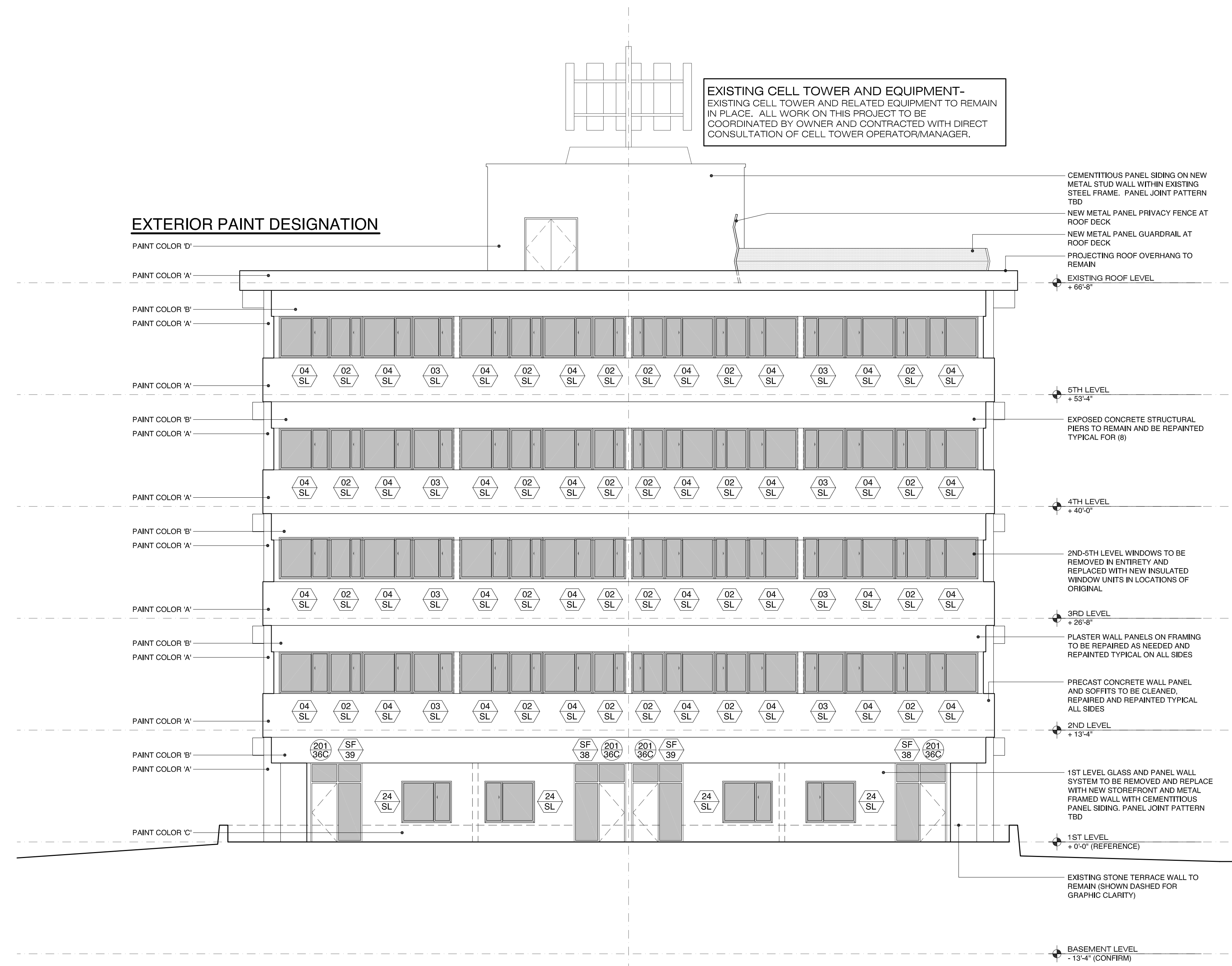
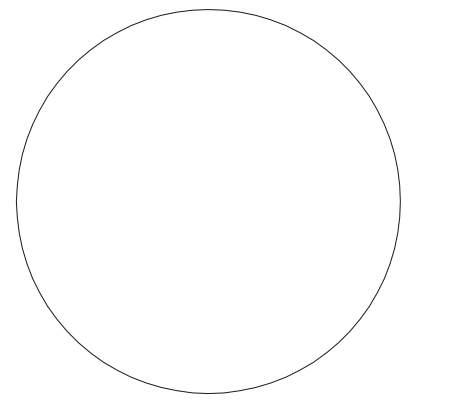
A3.3
 1/8" = 1'-0"



BUILDING
 ELEVATIONS

A3.3

1306.26



EXISTING CELL TOWER AND EQUIPMENT-
 EXISTING CELL TOWER AND RELATED EQUIPMENT TO REMAIN IN PLACE. ALL WORK ON THIS PROJECT TO BE COORDINATED BY OWNER AND CONTRACTED WITH DIRECT CONSULTATION OF CELL TOWER OPERATOR/MANAGER.

EXTERIOR PAINT DESIGNATION

PAINT COLOR 'D'
 PAINT COLOR 'A'
 PAINT COLOR 'B'
 PAINT COLOR 'A'
 PAINT COLOR 'A'
 PAINT COLOR 'B'
 PAINT COLOR 'A'
 PAINT COLOR 'A'
 PAINT COLOR 'B'
 PAINT COLOR 'A'
 PAINT COLOR 'A'
 PAINT COLOR 'B'
 PAINT COLOR 'A'
 PAINT COLOR 'A'
 PAINT COLOR 'B'
 PAINT COLOR 'A'

CEMENTITIOUS PANEL SIDING ON NEW METAL STUD WALL WITH EXISTING STEEL FRAME. PANEL JOINT PATTERN TBD
 NEW METAL PANEL PRIVACY FENCE AT ROOF DECK
 NEW METAL PANEL GUARDRAIL AT ROOF DECK
 PROJECTING ROOF OVERHANG TO REMAIN
 EXISTING ROOF LEVEL
 +66'-8"
 5TH LEVEL
 +53'-4"
 EXPOSED CONCRETE STRUCTURAL PIERS TO REMAIN AND BE REPAINTED TYPICAL FOR (B)
 4TH LEVEL
 +40'-0"
 2ND-5TH LEVEL WINDOWS TO BE REMOVED IN ENTIRETY AND REPLACED WITH NEW INSULATED WINDOW UNITS IN LOCATIONS OF ORIGINAL
 3RD LEVEL
 +26'-8"
 PLASTER WALL PANELS ON FRAMING TO BE REPAIRED AS NEEDED AND REPAINTED TYPICAL ON ALL SIDES
 PRECAST CONCRETE WALL PANEL AND SOFFITS TO BE CLEANED, REPAIRED AND REPAINTED TYPICAL ALL SIDES
 2ND LEVEL
 +13'-4"
 1ST LEVEL GLASS AND PANEL WALL SYSTEM TO BE REMOVED AND REPLACE WITH NEW STOREFRONT AND METAL FRAMED WALL WITH CEMENTITIOUS PANEL SIDING. PANEL JOINT PATTERN TBD
 1ST LEVEL
 +0'-0" (REFERENCE)
 EXISTING STONE TERRACE WALL TO REMAIN (SHOWN DASHED FOR GRAPHIC CLARITY)
 BASEMENT LEVEL
 +13'-4" (CONFIRM)

Improvements and Alterations at:
THE DANIELS BUILDING
 3805 Cuthshaw Ave.
 Richmond, Virginia
VHDA REVIEW SET
NOT FOR CONSTRUCTION

01 WEST/KENT ST ELEVATION

A3.4
 1/8" = 1'-0"
 0 8 16 24 FT

BUILDING ELEVATIONS

A3.4

1306.26



City of Richmond Department of Planning & Development Review

Special Use Permit

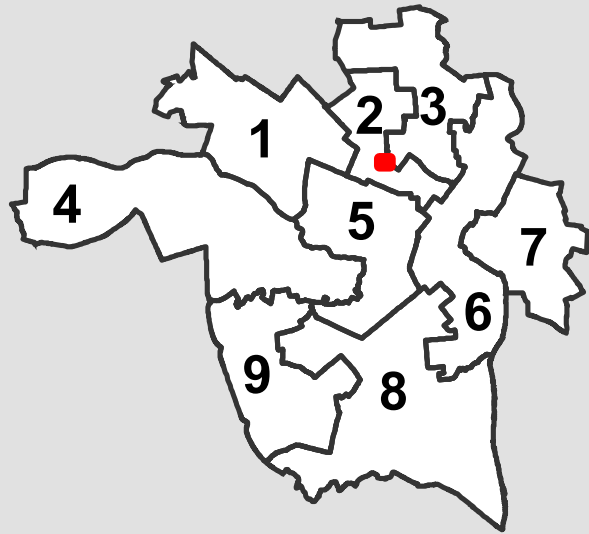
LOCATION: 708 North Meadow Street

COUNCIL DISTRICT: 2

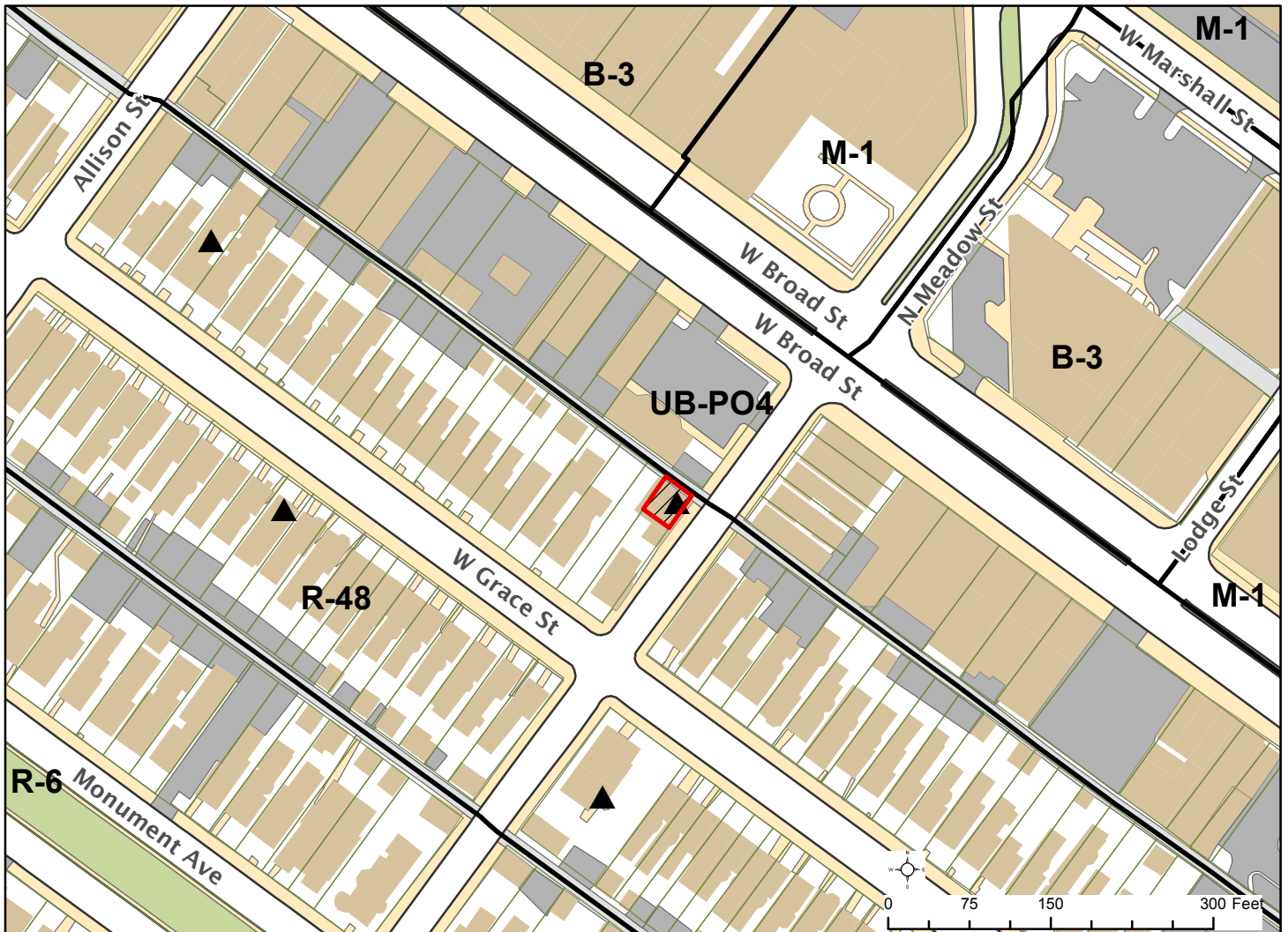
APPLICANT: W.L. Davis
Barber Shop Row LLC

EXISTING USE: Barber Shop

PROPOSED USE: To amend Ord. No. 64-112-111, adopted May 20, 1964, which authorized the use of the property known as 708 North Meadow Street as a barber shop, for the purpose of permitting office, art gallery, personal service, and retail uses on the property, upon certain terms and conditions.



*For questions, please contact Lory Markham
at 646-6309 or Lory.Markham@richmondgov.com*





**City of Richmond
Department of Planning
& Development Review**

Rezoning

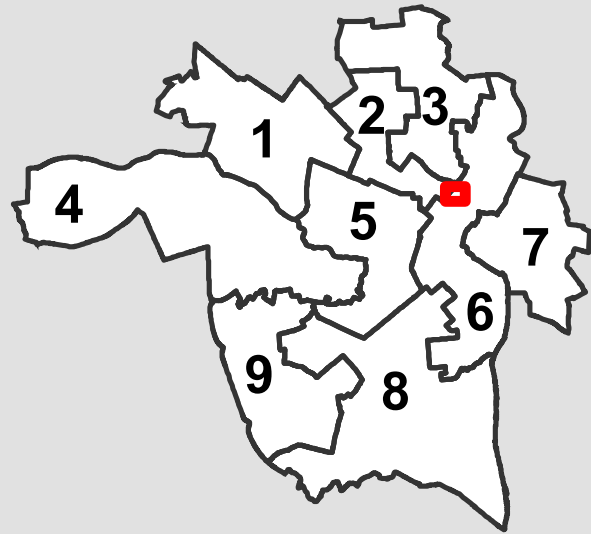
LOCATION: 310 East Leigh Street, 612 North 4th Street, 305 East Jackson Street

COUNCIL DISTRICT: 6

APPLICANT: Edward B. Kidd
Troutman Sanders, LLP

EXISTING USE: Surface parking lots

PROPOSED USE: To rezone the properties known as 310 East Leigh Street, 612 North 4th Street and 305 East Jackson Street from the RO-3 Residential-Office District to the RP Research Park District.



For questions, please contact Lory Markham at 646-6309 or Lory.Markham@richmondgov.com

